



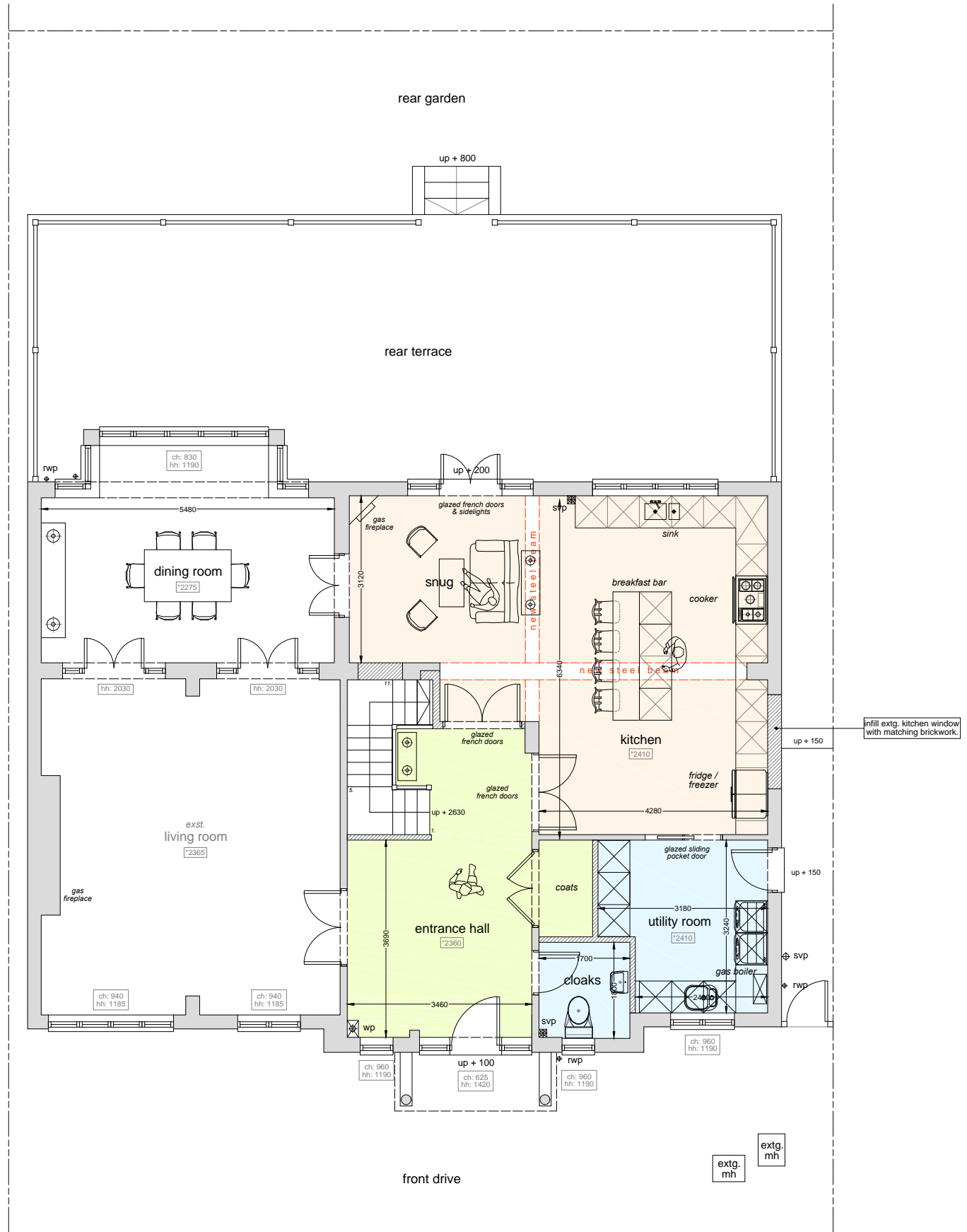


WALLS KEY

-  PROPOSED WALLS
-  EXISTING WALLS
-  STRUCTURAL OVERHEADS
-  WALLS TO BE DEMOLISHED

NOTE:
ALL DIMENSIONS ARE APPROXIMATE AND SUBJECT TO SITE DIMENSIONS.

FINAL DESIGN SUBJECT TO LOCAL AUTHORITY PLANNING APPROVAL.



PROPOSED GROUND FLOOR PLAN
Total Floor Area 137sqm (1,474.5 sq ft)

NOTE:
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This Drawing is Not To Be Scaled. The Contractor is To Check All Dimensions And Notify The Client or Architect of Any Discrepancies or Omissions that require immediate attention.

GENERAL:
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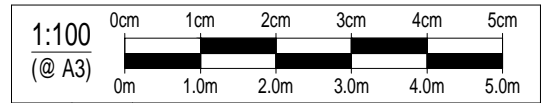
MATERIALS:
All materials used in any exterior work shall be of a similar appearance to those used in the construction of the exterior of the existing dwelling house.

ROOFLIGHTS:
Rooflights not to protrude more than 150mm beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof.

EXISTING STRUCTURE:
Key elements of the existing structure such as foundations, beams and lintels etc. from the proposals, that will accept greater loads are to be exposed for inspection if required by the building control officer and changed or replaced as necessary.

PARTY WALL ACT 1996:
If it is intended to carry out work which involves: Work on an existing wall shared with another property, building on the boundary with a neighbouring property or excavation work near a neighbouring building the owner must find out whether that work falls within the scope of the Party Wall Act 1996. The above are only common examples of work and not all encompassing. If deemed necessary it is important that the Building Owner serves the necessary Statutory Notice on neighbour(s) as defined by the Act. It will be necessary to give them the appropriate period of notice before, with their agreement the building work is commenced.

PLANNING APPROVAL SUBMISSION
(for planning purposes this drawing may be scaled)



| REV: | DATE | AMENDMENT |
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design solutions (London) Ltd
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tel: 020 8393 8809
mobile: 07970 700773
email: design.solutions@talktalk.net
web: designsolutionslondonltd.co.uk

CLIENT: Mr & Mrs Pexton

JOB: 28 Ernle Road
Wimbledon
SW20 0HJ





TITLE: Proposed Ground Floor Plan

SCALE: 1:100 @ A3 **DRAWN:** s.j.t.

DATE: December 2018 **JOB NO:** 0603/2018

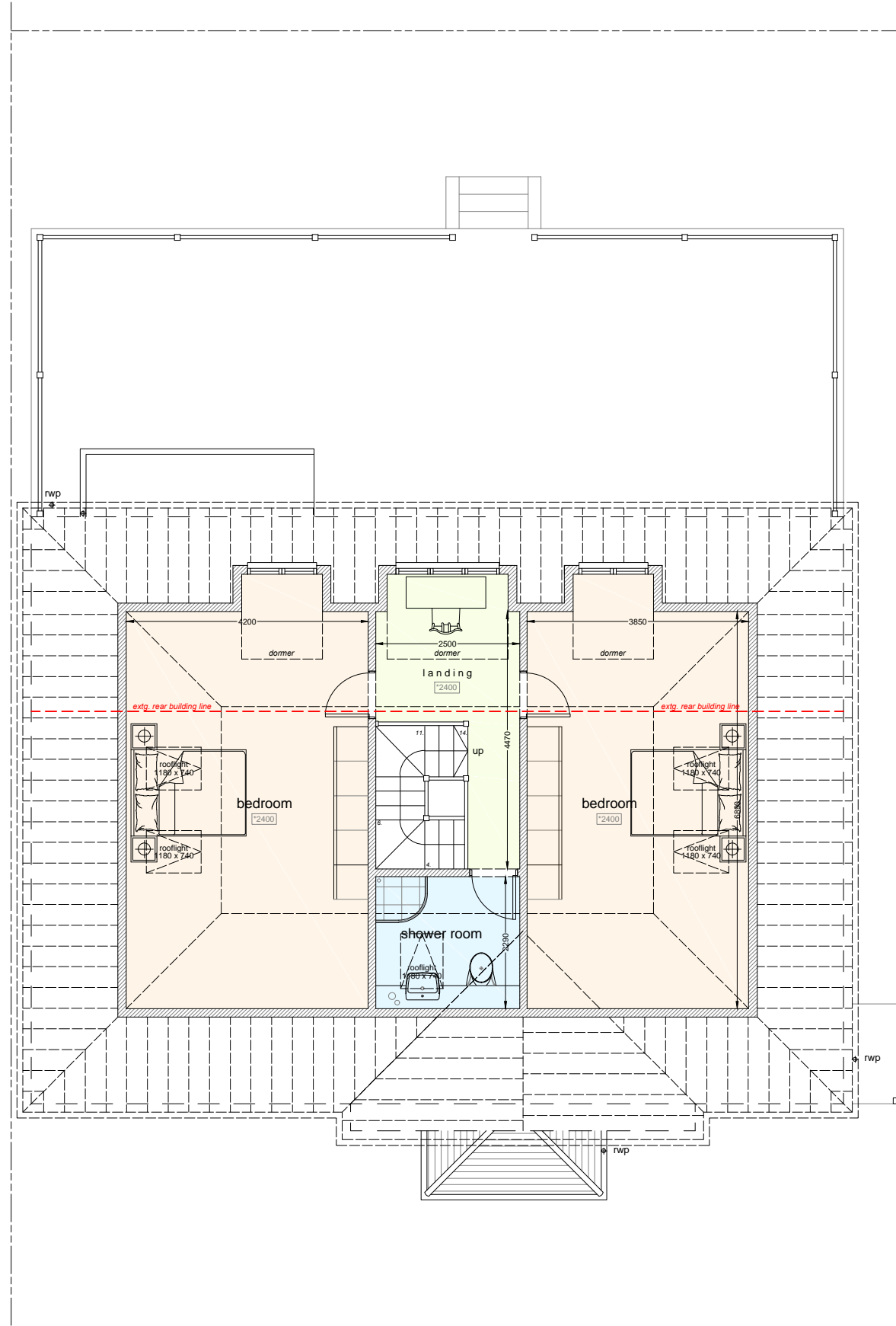
DRAWING NO: 0603/P/01 **REV.**

WALLS KEY

| | |
|--|------------------------|
|  | PROPOSED WALLS |
|  | EXISTING WALLS |
|  | STRUCTURAL OVERHEADS |
|  | WALLS TO BE DEMOLISHED |

NOTE:
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PROPOSED LOFT FLOOR PLAN
Total Floor Area 77.5sqm (834 sq ft)

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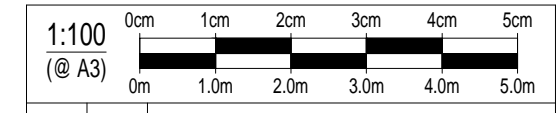
MATERIALS:
All materials used in any exterior work shall be of a similar appearance to those used in the construction of the exterior of the existing dwelling house.

ROOFLIGHTS:
Rooflights not to protrude more than 150mm beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof.

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PLANNING APPROVAL SUBMISSION
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web: designsolutionslondonltd.co.uk

CLIENT: Mr & Mrs Pexton





JOB: 28 Ernle Road
Wimbledon
SW20 0HJ

TITLE: Proposed Loft Floor Plan

SCALE: 1:100 @ A3 **DRAWN:** s.j.t.

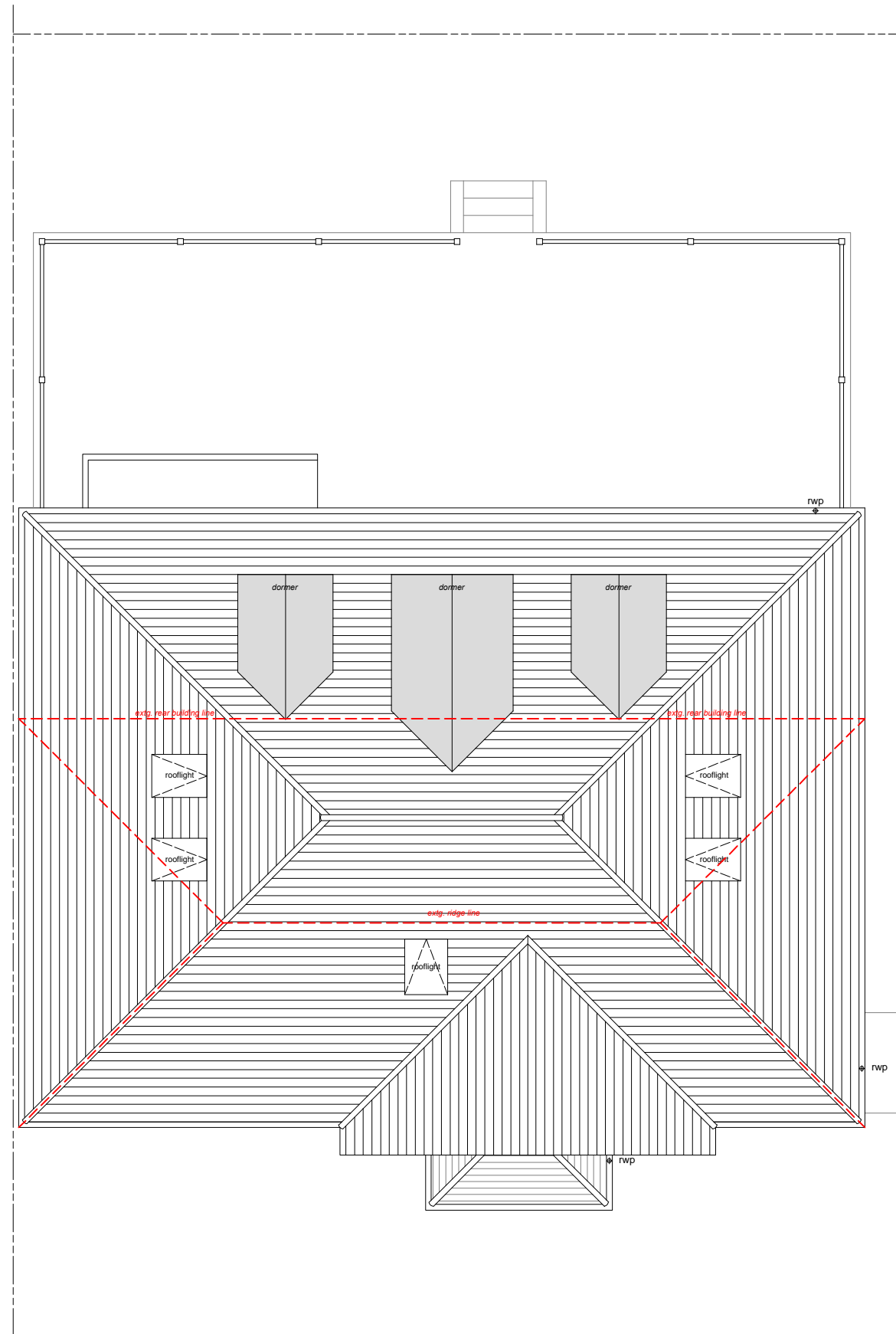
DATE: December 2018 **JOB NO:** 0603/2018

DRAWING NO: 0603/P/03 **REV.**

| WALLS KEY | |
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PROPOSED ROOF PLAN

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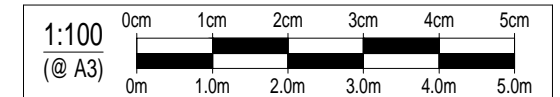
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web: designsolutionslondonltd.co.uk

CLIENT: Mr & Mrs Pexton

JOB: 28 Ernle Road
Wimbledon
SW20 0HJ

TITLE: Proposed Roof Plan

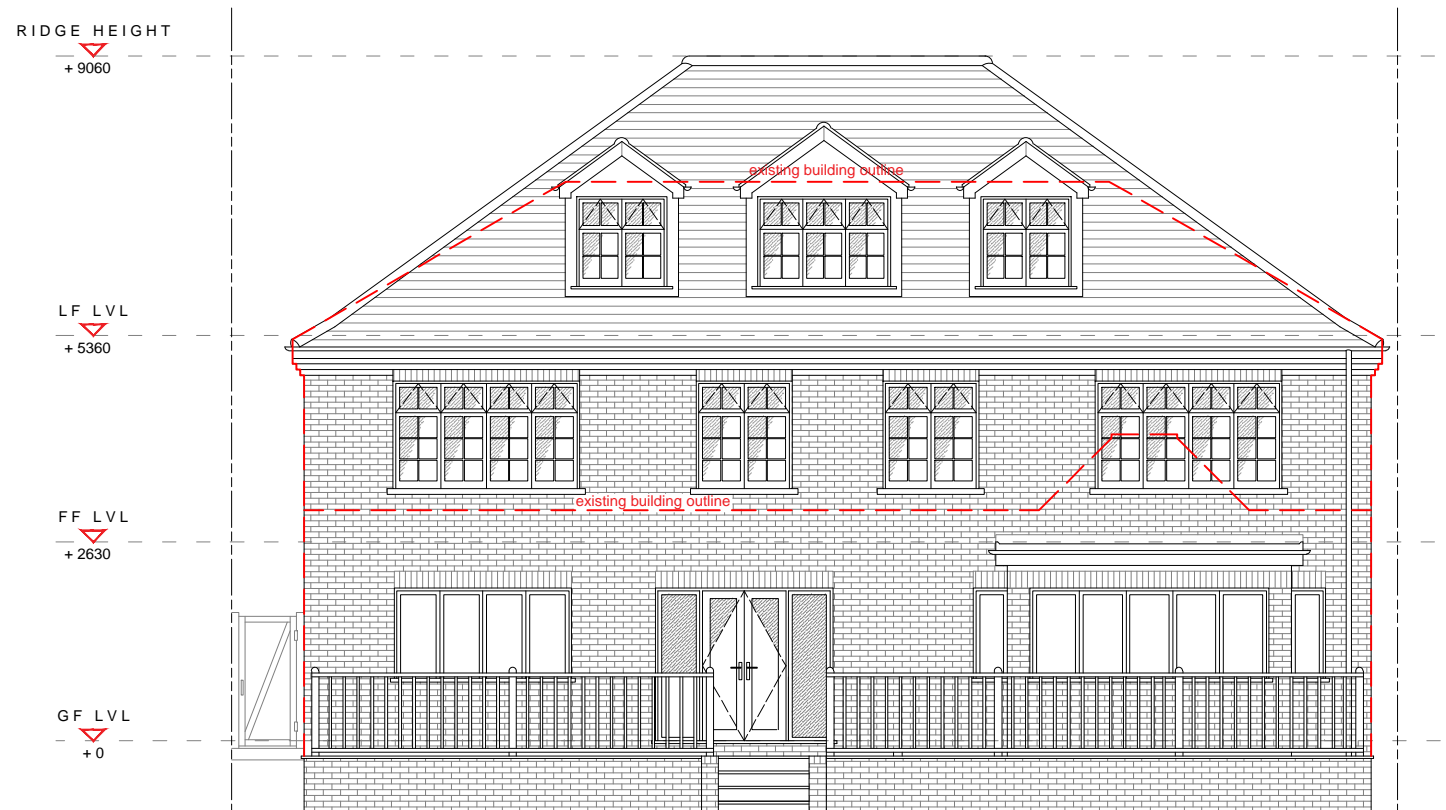
SCALE: 1:100 @ A3
DRAWN: s.j.t.

DATE: December 2018
JOB NO: 0603/2018

DRAWING NO: **0603/P/04** REV.



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

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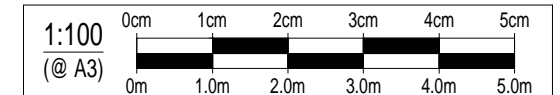
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 web: designsolutionslondonltd.co.uk

CLIENT: Mr & Mrs Pexton

JOB:
 28 Ernle Road
Wimbledon
SW20 0HJ

TITLE:
 Proposed Front & Rear Elevations

SCALE: 1:100 @ A3 **DRAWN:** s.j.t.

DATE: December 2018 **JOB NO:** 0603/2018

DRAWING NO: 0603/P/05 **REV.**

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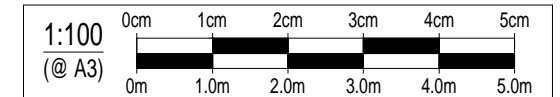
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CLIENT: Mr & Mrs Pexton

JOB:
 28 Ernle Road
Wimbledon
SW20 0HJ

TITLE:
 Proposed Side Elevations

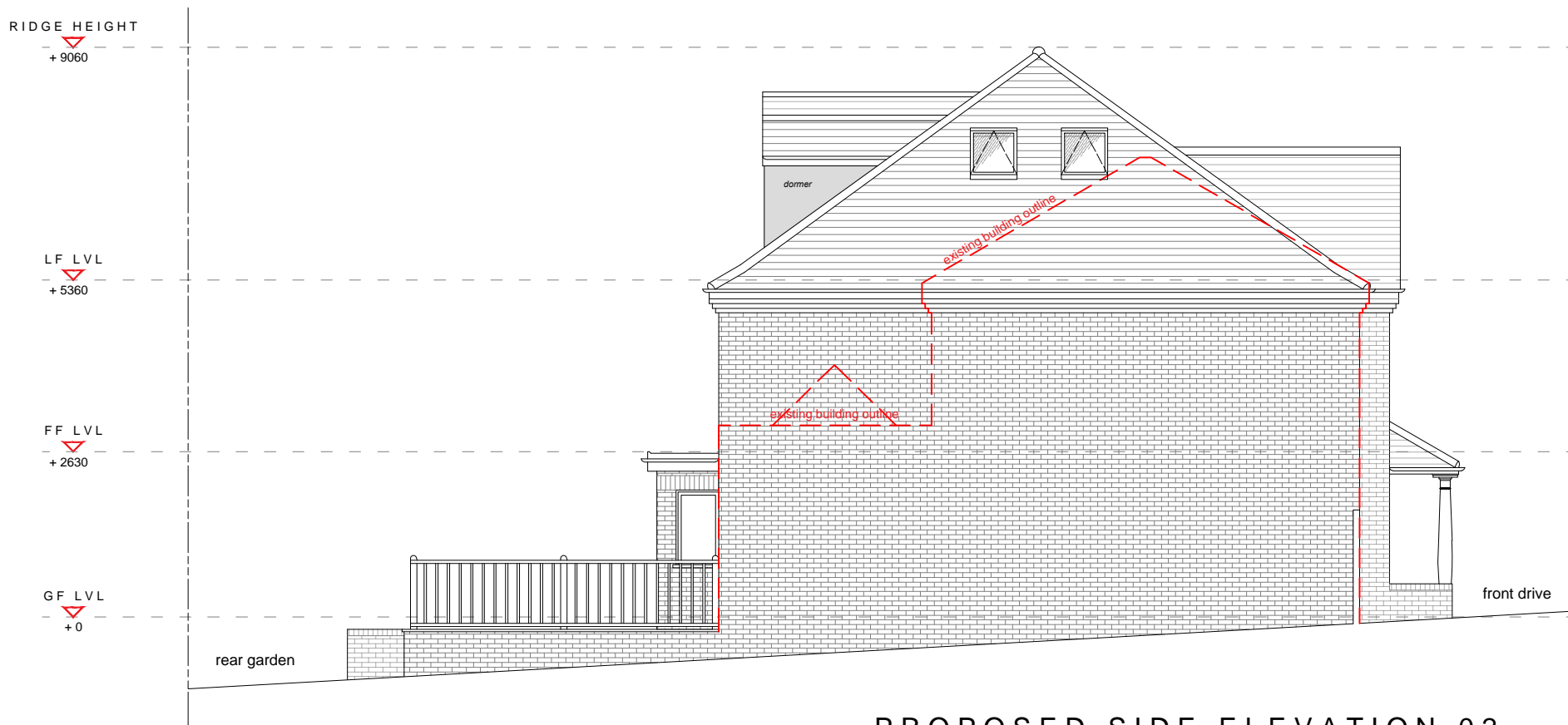
SCALE: 1:100 @ A3 **DRAWN:** s.j.t.

DATE: December 2018 **JOB NO:** 0603/2018

DRAWING NO: 0603/P/06 **REV.**



PROPOSED SIDE ELEVATION 01



PROPOSED SIDE ELEVATION 02