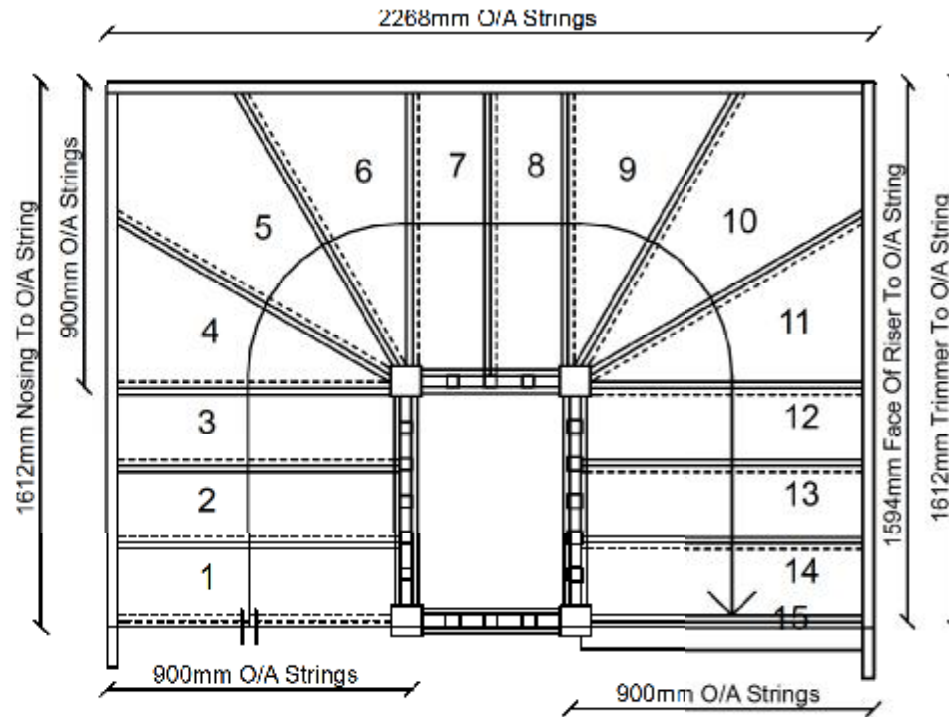


To discuss this design contact Kathryn Taylor 01938 557785 Email kathryn.taylor@pearstairs.co.uk

PLEASE CHECK ALL MEASUREMENTS --- ONLY OUR TERMS AND CONDITIONS APPLY

A QUALIFIED JOINER SHOULD FIT THESE STAIRS ---DELIVER DETAILS 01938 557735 --- ACCOUNTS 01938 557732

F.A.O: Michael Elling - Ref: 28 Ernie Roas GF/FF



URGENT !!

Please can you confirm that the details & dimensions on this drawing are correct.
We cannot commence production of the staircase until this drawing is signed and returned to us.

SIGNED DATE

Floor height:	2620.0 mm
Well Thickness:	240.0 mm
Headroom:	2205.3 mm
Angle of incid.:	37.21 °
Run:	230.0 mm
Rise Per Step	174.7 mm
Tread thickness	32.0 mm
String thickness	
faceside:	32.0 mm
offside:	32.0 mm

Material	
Strings:	W/PRIMED STRINGS
Treads:	W/WOOD TREAD 32
Riser:	PLYWOOD 9MM THICK
Posts:	W/PRIMED STOP/OVOLO
Handrails:	OAK PEAR HANDRAIL
Spindles:	41 PRIMED STOP/CHAM

Extras: Oak Pyramid Newel Caps
W/Primed Apron, Nosing & Cover-Mould
W/Primed Rake Cover-Mould

Designed By: KATHRYN TAYLOR

pear stairs

SOFTWOOD & HARDWOOD STAIRCASE MANUFACTURERS
- Distribution throughout the U.K. -

Order:	Newstead Homes	Run:	28 Ernie Road	Scale:	1 : 21.00
Project:	28 Ernie Road	Stair:	GF/FF - H270674		04.12.19 15:06

PLEASE RETURN SIGNED DRAWINGS TO FAX No. 01938 557780

© 140325C101041

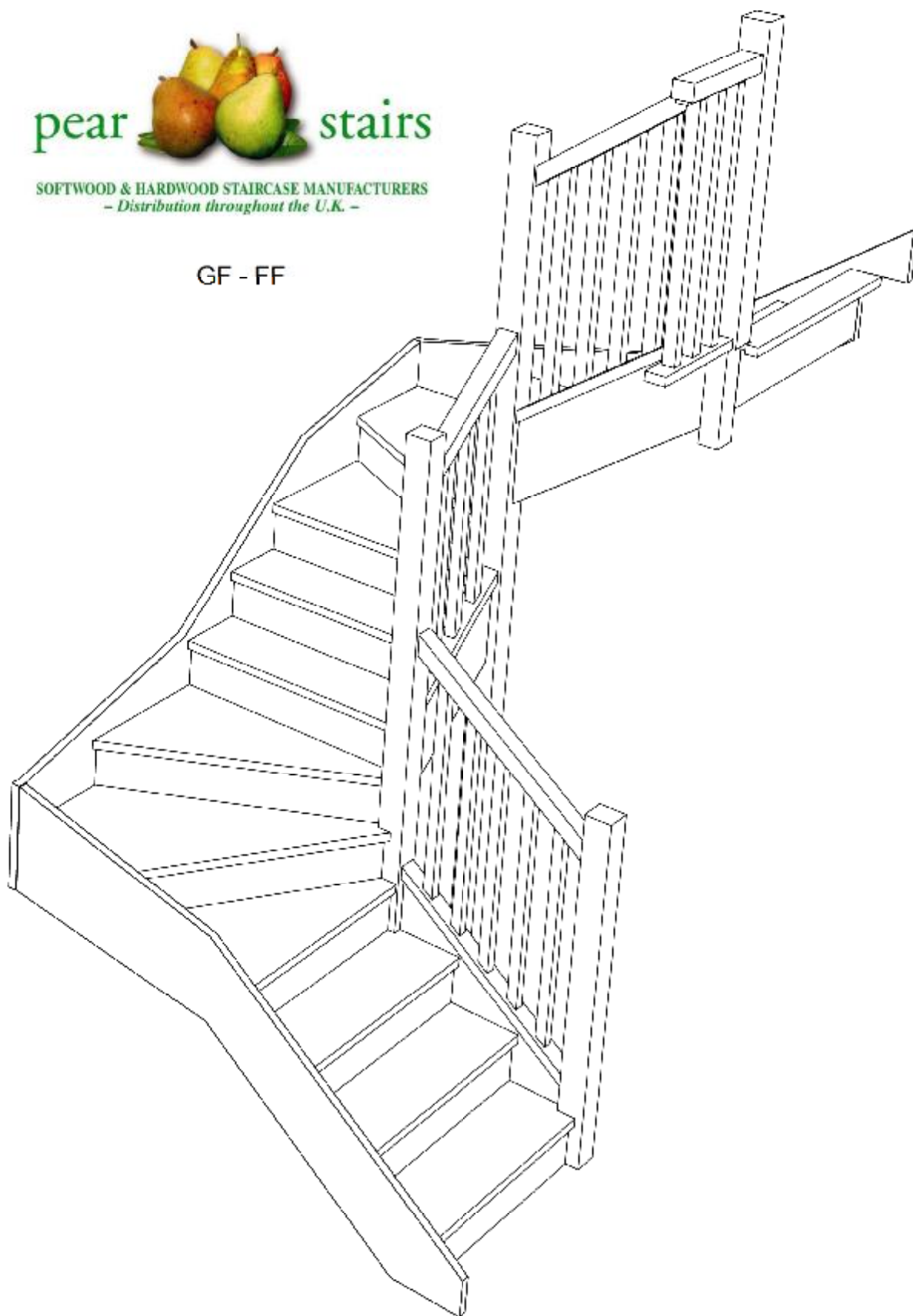
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© 140285019141



SOFTWOOD & HARDWOOD STAIRCASE MANUFACTURERS
- Distribution throughout the U.K. -

GF - FF

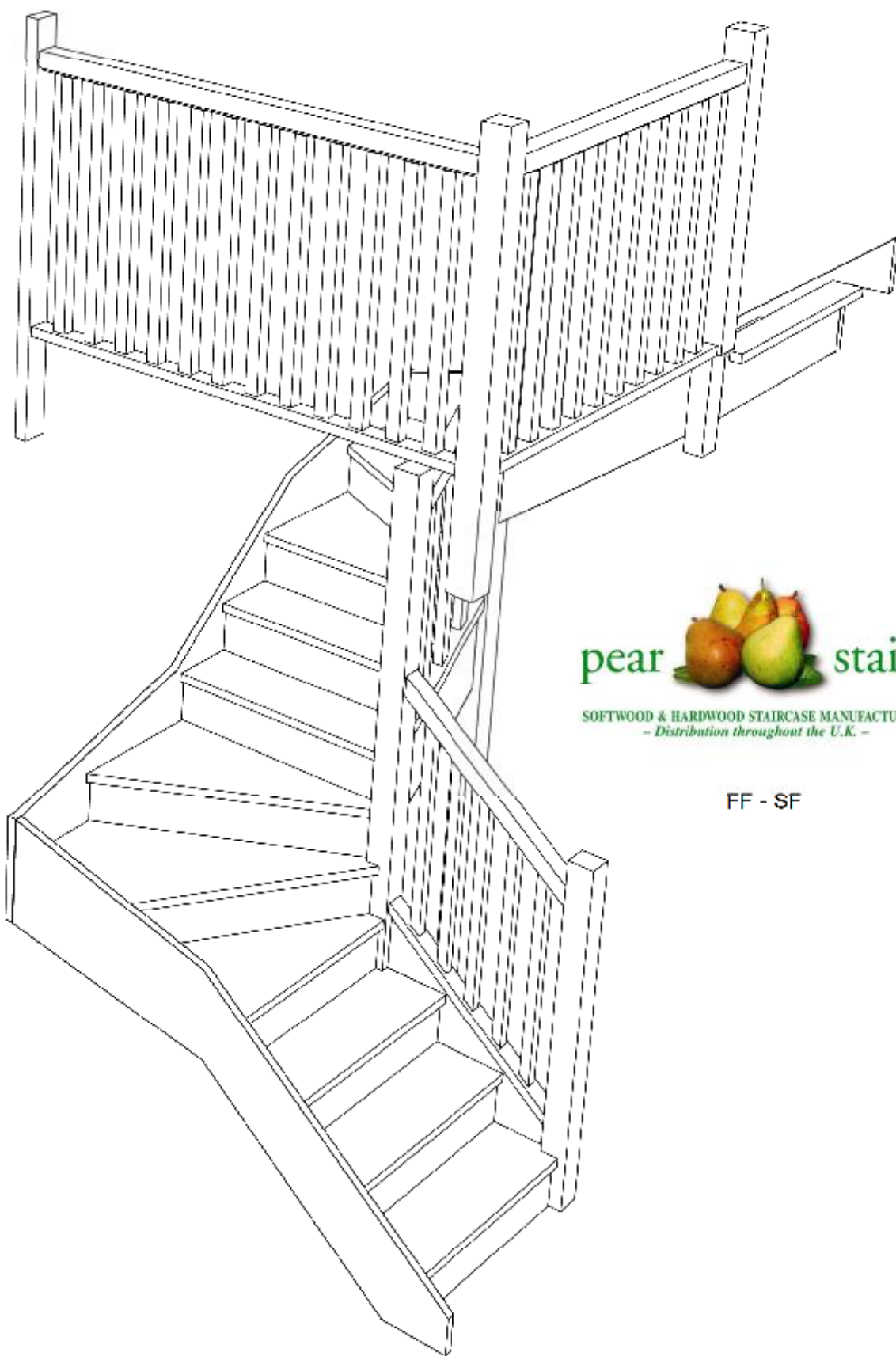


Order: Newstead Homes
Project: 28 Ernie Road

Run: 28 Ernie Road
Stair: GF/FF - H270674

ONLY OUR TERMS AND CONDITIONS APPLY

© 14028501914



pear  stairs

SOFTWOOD & HARDWOOD STAIRCASE MANUFACTURERS
- Distribution throughout the U.K. -

FF - SF

Order: Newstead Homes
Project: 28 Ernie Road

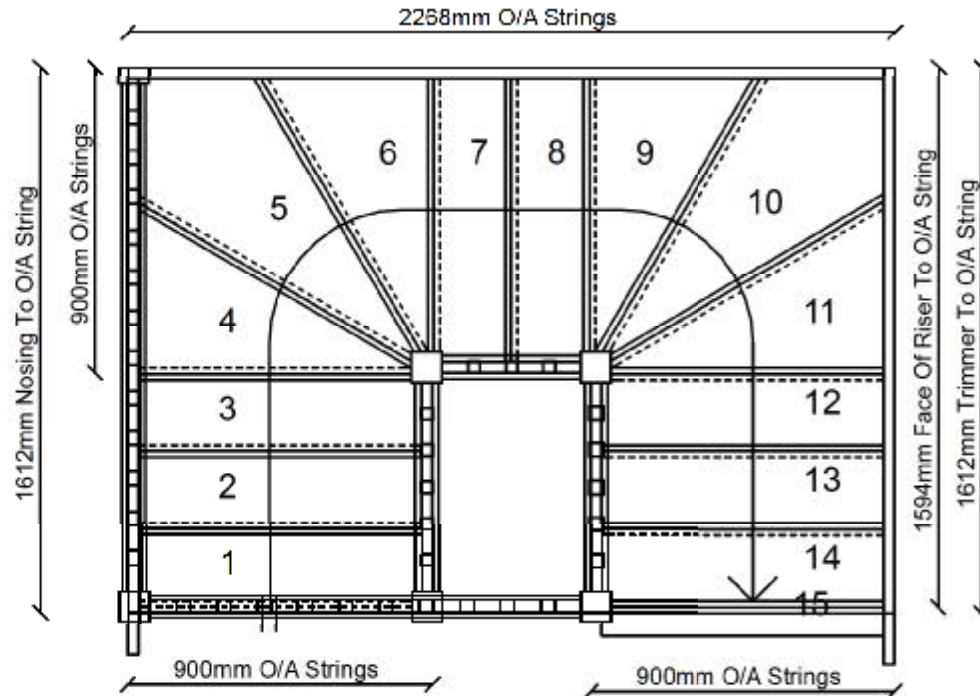
Run: 28 Ernie Road
Stair: FF/SF - H270675

To discuss this design contact Kathryn Taylor 01938 557785 Email kathryn.taylor@pearstairs.co.uk

PLEASE CHECK ALL MEASUREMENTS --- ONLY OUR TERMS AND CONDITIONS APPLY

A QUALIFIED JOINER SHOULD FIT THESE STAIRS ---DELIVER DETAILS 01938 557735 --- ACCOUNTS 01938 557732

F.A.O: Michael Elling - Ref: 28 Ernie Road FF/SF



URGENT !!

Please can you confirm that the details & dimensions on this drawing are correct.
We cannot commence production of the staircase until this drawing is signed and returned to us.

SIGNED DATE

Floor height:	2800.0 mm
Well Thickness:	240.0 mm
Headroom:	2373.3 mm
Angle of incid.:	39.06 °
Run:	230.0 mm
Rise Per Step	186.7 mm
Tread thickness	32.0 mm
String thickness	
faceside:	32.0 mm
outside:	32.0 mm

Material	
Strings:	W/PRIMED STRINGS
Treads:	W/WOOD TREAD 32
Riser:	PLYWOOD 9MM THICK
Posts:	W/PRIMED STOP/OVOLO
Handrails:	OAK PEAR HANDRAIL
Spindles:	41 PRIMED STOP/CHAM

Extras: Oak Pyramid Newel Caps
W/Primed Apron, Nosing & Cover-Mould
W/Primed Rake Cover-Mould

Designed By: KATHRYN TAYLOR



SOFTWOOD & HARDWOOD STAIRCASE MANUFACTURERS
- Distribution throughout the U.K. -

Order:	Newstead Homes	Run:	28 Ernie Road	Scale:	1 : 21.00
Project:	28 Ernie Road	Stair:	FF/SF - H270675		04.12.19 15:27

PLEASE RETURN SIGNED DRAWINGS TO FAX No. 01938 557780

WALLS KEY

- PROPOSED WALLS
- EXISTING WALLS
- STRUCTURAL OVERHEADS
- WALLS TO BE DEMOLISHED

NOTE:
ALL DIMENSIONS ARE APPROXIMATE AND SUBJECT TO SITE DIMENSIONS.

FINAL DESIGN SUBJECT TO LOCAL AUTHORITY PLANNING APPROVAL.



PROPOSED FIRST FLOOR PLAN

Total Floor Area 133sqm (1,431.5 sq ft)

NOTE:
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This Drawing is Not To Be Scaled. The Contractor is To Check All Dimensions And Notify The Client or Architect of Any Discrepancies or Omissions that require immediate attention.

GENERAL:
All dimensions, heights, levels of drains etc. to be checked & verified on site prior to commencing any work and any discrepancies between the drawings and site conditions must be reported to the office immediately.

This drawing is to be read in conjunction with all other relevant drawings, specifications, contract documents, structural calculations etc.

Any work commencing before approvals have been granted is at the risk of the Client and the builder.

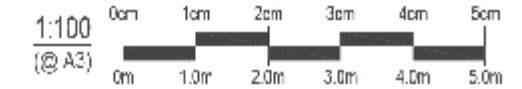
MATERIALS:
All materials used in any exterior work shall be of a similar appearance to those used in the construction of the exterior of the existing dwelling house.

ROOFLIGHTS:
Rooflights not to protrude more than 150mm beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof.

EXISTING STRUCTURE:
Key elements of the existing structure such as foundations, beams and lintels etc. from the proposals, that will accept greater loads are to be exposed for inspection if required by the building control officer and changed or replaced as necessary.

PARTY WALL ACT 1996:
If it is intended to carry out work which involves:
Work on an existing wall shared with another property, building on the boundary with a neighbouring property or excavation work near a neighbouring building the owner must find out whether that work falls within the scope of the Party Wall Act 1996. The above are only common examples of work and not all encompassing. It is deemed necessary it is important that the Building Owner serves the necessary Statutory Notice on neighbour(s) as defined by the Act. It will be necessary to give them the appropriate period of notice before, with their agreement the building work is commenced.

PLANNING APPROVAL SUBMISSION
(for planning purposes this drawing may be scaled)



REV	DATE	AMENDMENT

design solutions (London) Ltd
Architectural & Property Design Services
The Studio / Station Approach Stoneleigh Lpsom K119 0QZ
tel: 020 8393 8809
mobile: 07973 700773
email: design.solutions@talktalk.net
web: designolutionslondon.co.uk

CLIENT: Mr & Mrs Poxton

JOB: 28 Ernie Road
Wimbledon
SW20 0HJ





TITLE: Proposed First Floor Plan

SCALE: 1:100 @ A3	DRAWN: s.j.t.
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DATE: December 2018	JOB NO: 0603/2018
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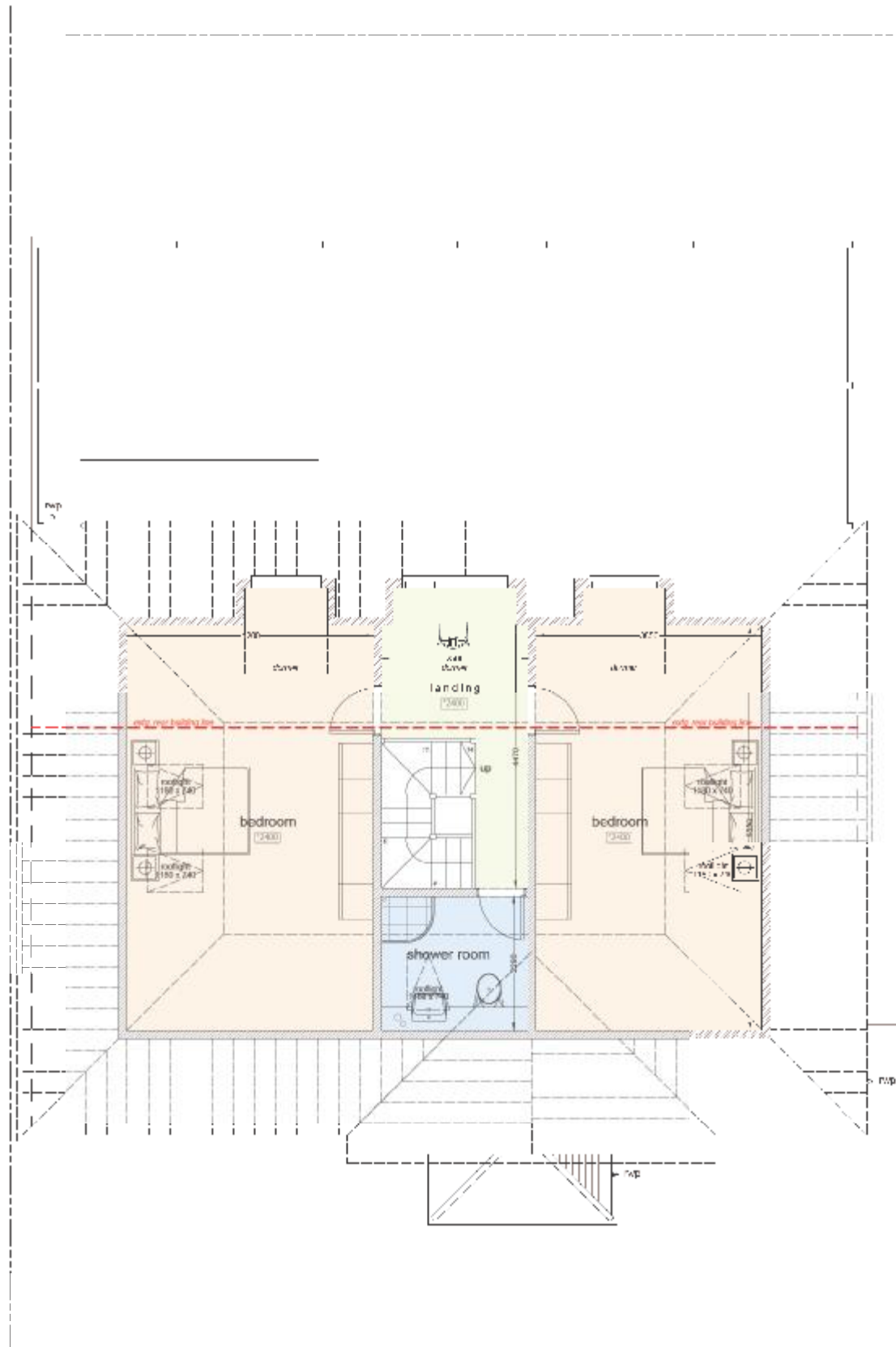
DRAWING NO.: 0603/P/02 **REV.:**

WALLS KEY

-  PROPOSED WALLS
-  EXISTING WALLS
-  STRUCTURAL OVERHEADS
-  WALLS TO BE DEMOLISHED

NOTE:
ALL DIMENSIONS ARE APPROXIMATE AND SUBJECT TO SITE DIMENSIONS.

FINAL DESIGN SUBJECT TO LOCAL AUTHORITY PLANNING APPROVAL.



PROPOSED LOFT FLOOR PLAN
Total Floor Area 77.5sqm (834 sq ft)

NOTE:
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This Drawing is Not To Be Scaled. The Contractor is To Check All Dimensions And Notify The Client or Architect of Any Discrepancies or Omissions that require immediate attention.

CLIENT:
All dimensions, heights, levels of drains etc. to be checked & verified on site prior to commencing any work and any discrepancies between the drawings and site conditions must be reported to the office immediately.

This drawing is to be read in conjunction with all other relevant drawings, specifications, contract documents, structural calculations etc.

Any work commencing before approvals have been granted is at the risk of the Client and the builder.

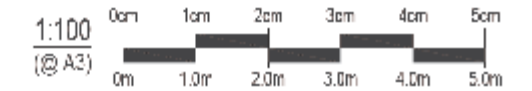
MATERIALS:
All materials used in any exterior work shall be of a similar appearance to those used in the construction of the exterior of the existing dwelling house.

ROOFLIGHTS:
Rooflights not to protrude more than 150mm beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof.

EXISTING STRUCTURE:
Key elements of the existing structure such as foundations, beams and intels etc. from the proposals, that will accept greater loads are to be exposed for inspection if required by the building control officer and changed or replaced as necessary.

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PLANNING APPROVAL SUBMISSION
(for planning purposes this drawing may be scaled)



REV	DATE	AMENDMENT

design solutions (London) Ltd
Architectural & Property Design Services
The Studio / Station Approach Stoneleigh Lpsom K119 0QZ
tel: 020 8393 8809
mobile: 07973 700773
email: design.solutions@talktalk.net
web: designolutions.london.co.uk

CLIENT: Mr & Mrs Poxton

JOB: 28 Ernie Road
Wimbledon
SW20 0HJ

TITLE: Proposed Loft Floor Plan

SCALE: 1:100 @ A3	DRAWN: s.j.t.
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DATE: December 2018	JOB NO: 0603/2018
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DRAWING NO: **0603/P/03** KLV.