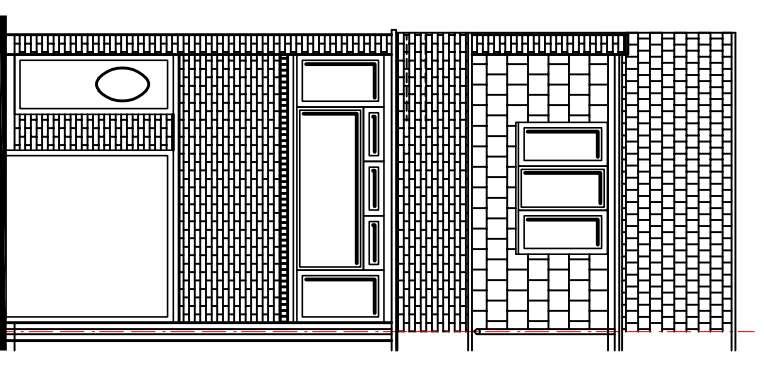
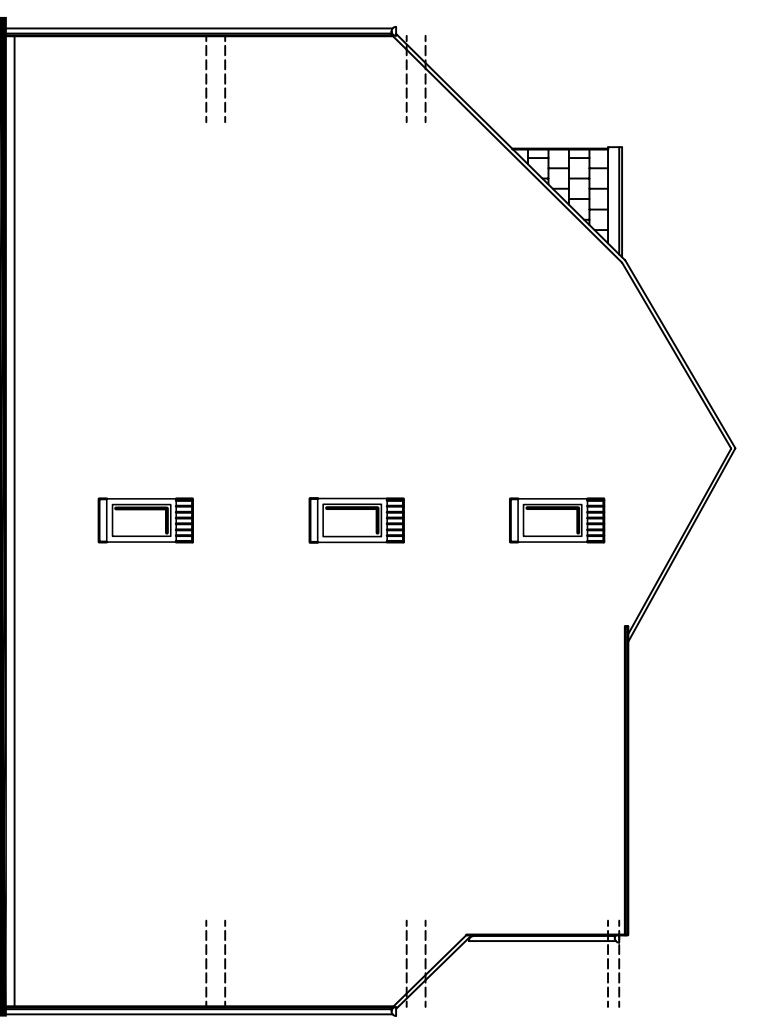


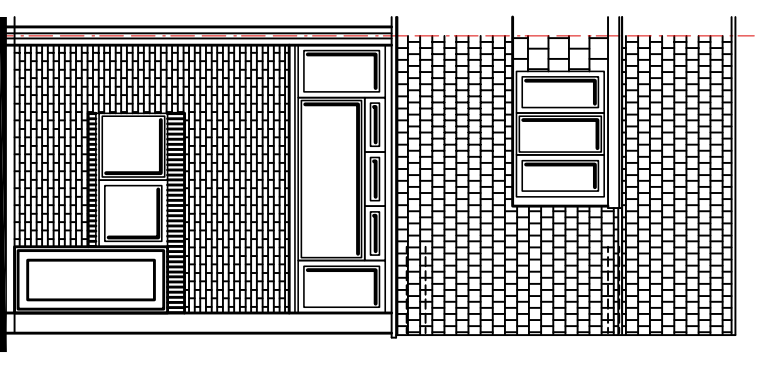
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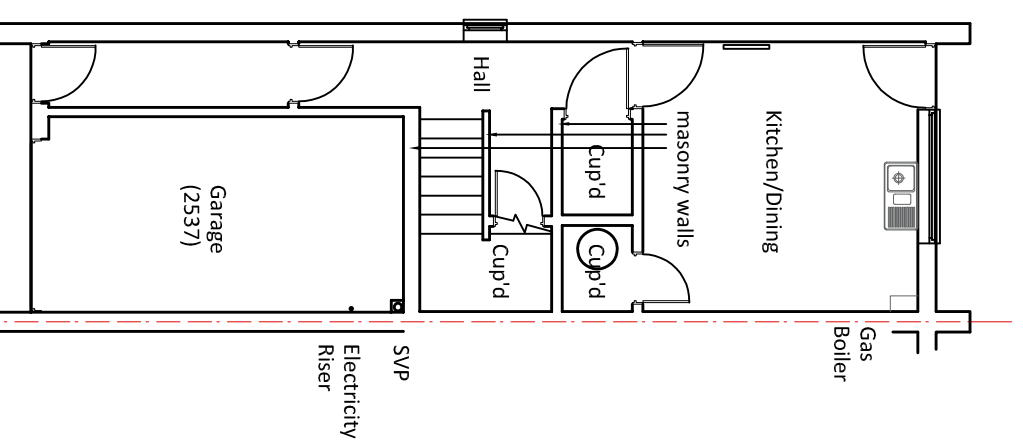
Existing Front Elevation 1:100



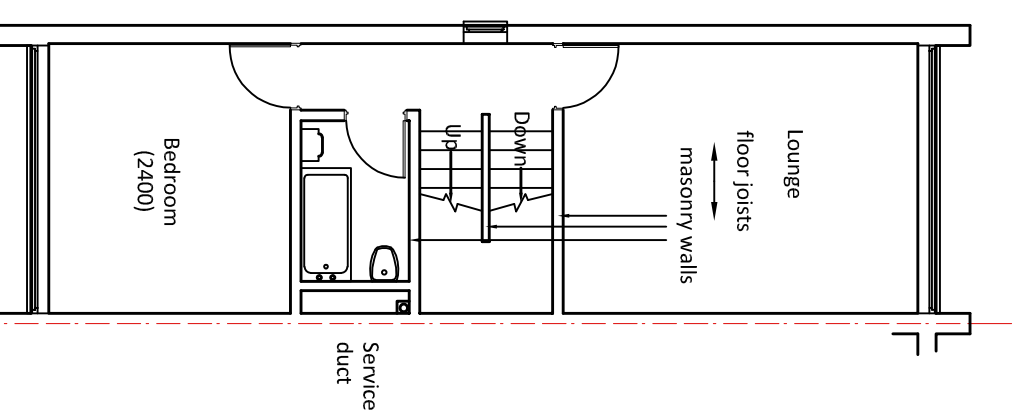
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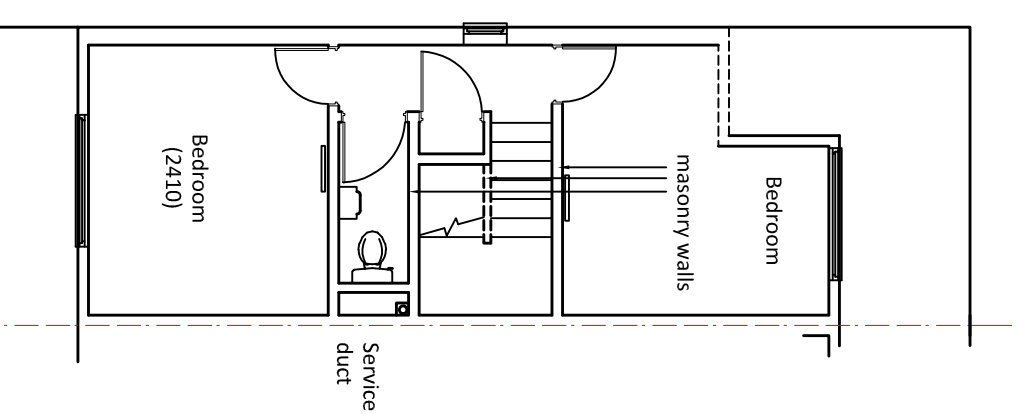
Existing Rear Elevation 1:100



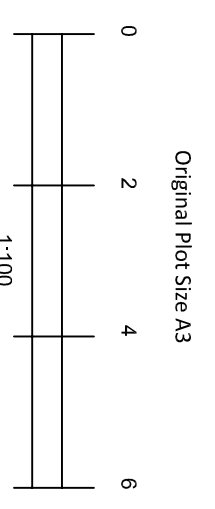
Existing Ground Floor Plan 1:100



Existing First Floor Plan 1:100



Existing Second Floor Plan 1:100



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**DRAWING BY**  
**Courtleas Consulting Ltd**

Chartered Surveyors Development & Project Consultants  
 1 COURTLEAS COBHAM  
 SURREY KT11 2PW  
 TEL: 01932 590 455  
 Email: garynwhite@ntlworld.com

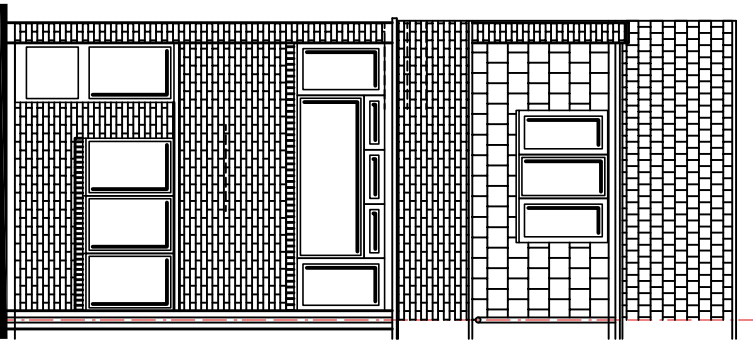
Client:  
**Mr & Mrs B Fortesque-Nickson**  
 58 Brookwood Avenue  
 Barnes  
 SW13 0LU

Detail:  
**AS EXISTING DRAWING**  
**Existing Plans & Elevations**

Drawn by:	Date:	Scale:
GW	JUL-19	As stated
Drawing/Cad Ref. No.:		19-126

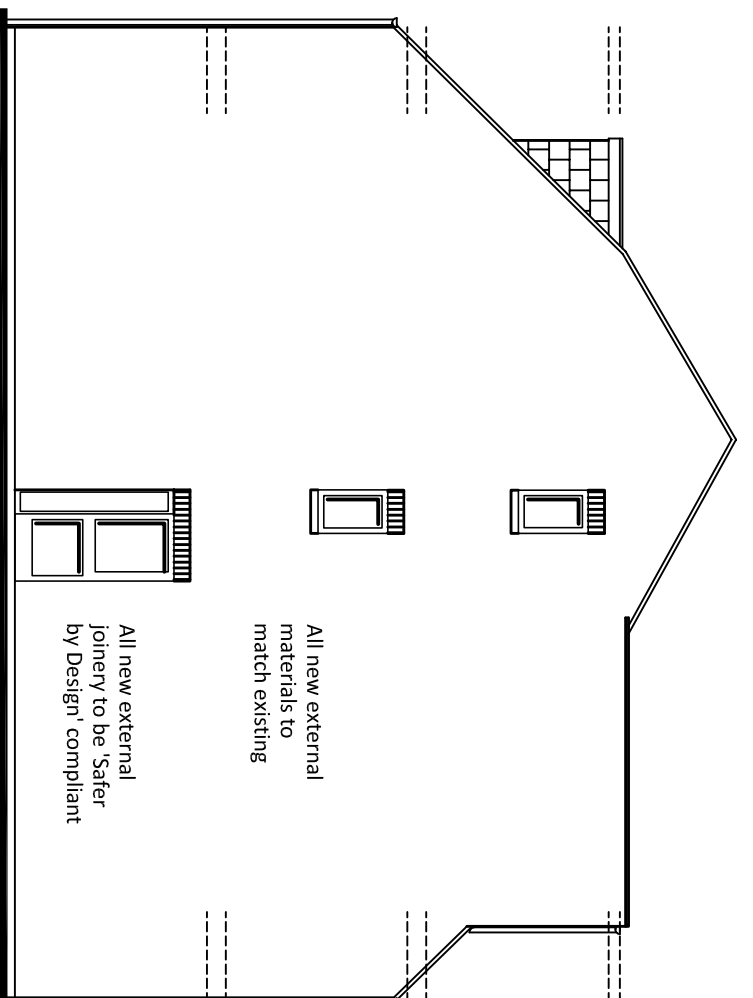
Drawing No.:  
**19-126-01**

Rev:  
**A**



All new external joinery to be 'Safer by Design' compliant

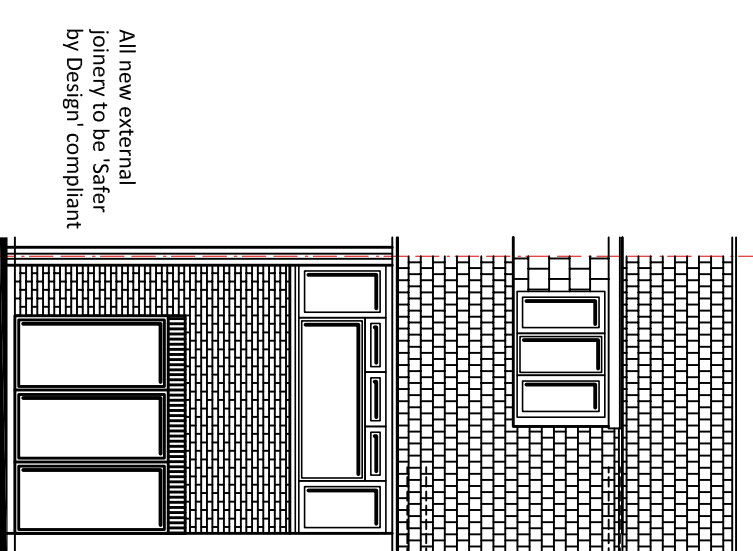
Proposed Front Elevation 1:100



All new external materials to match existing

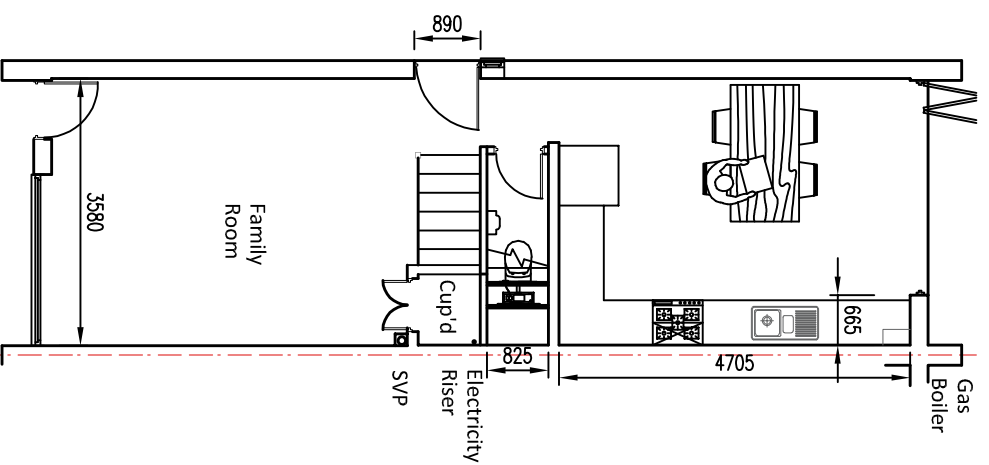
All new external joinery to be 'Safer by Design' compliant

Existing Side Elevation 1:100

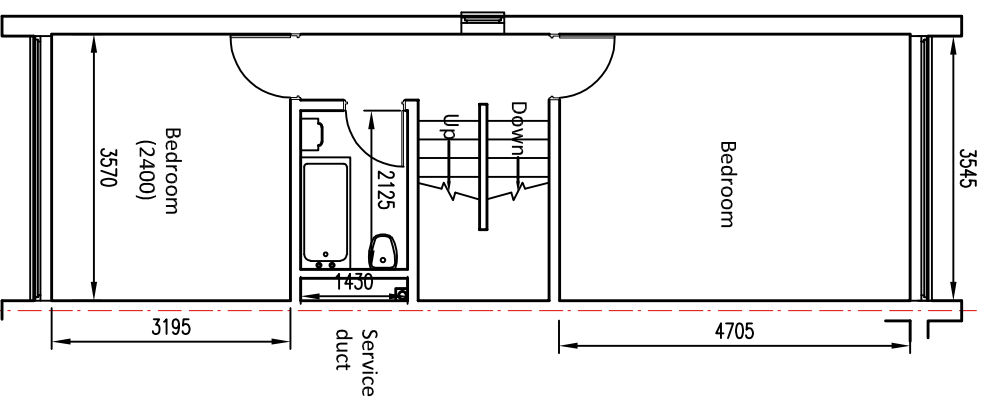


All new external joinery to be 'Safer by Design' compliant

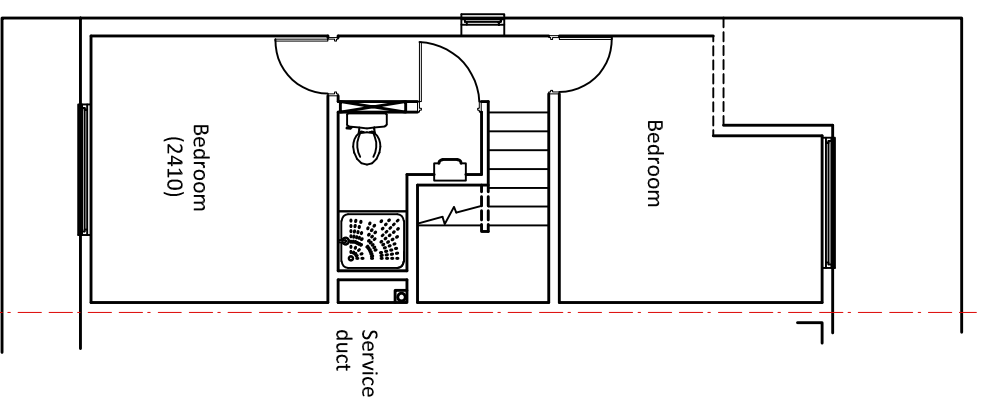
Proposed Rear Elevation 1:100



Proposed Ground Floor Plan 1:100 option 'C'



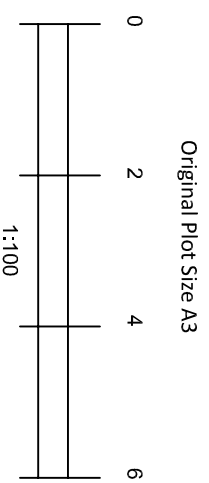
Proposed First Floor Plan 1:100



Proposed Second Floor Plan 1:100

An 'automatic fire detection & suppression system' to be installed & fully maintained TBC

**PRELIMINARY CLIENT APPROVAL**  
**PLANNING BUILDING REGULATIONS**  
**TENDER CONSTRUCTION AS-BUILT**  
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**Courtleas Consulting Ltd**

Chartered Surveyors Development & Project Consultants  
 1 COURTLEAS COBHAM  
 SURREY KT11 2PW  
 TEL: 01932 590 455  
 Email: garymwhite@ntlworld.com

Client:  
 Mr & Mrs B Fortesque-Nickson  
 58 Brookwood Avenue  
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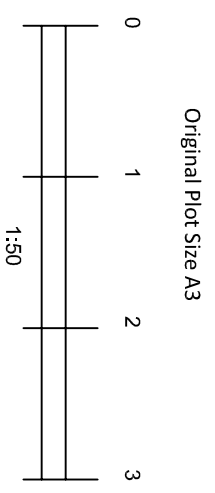
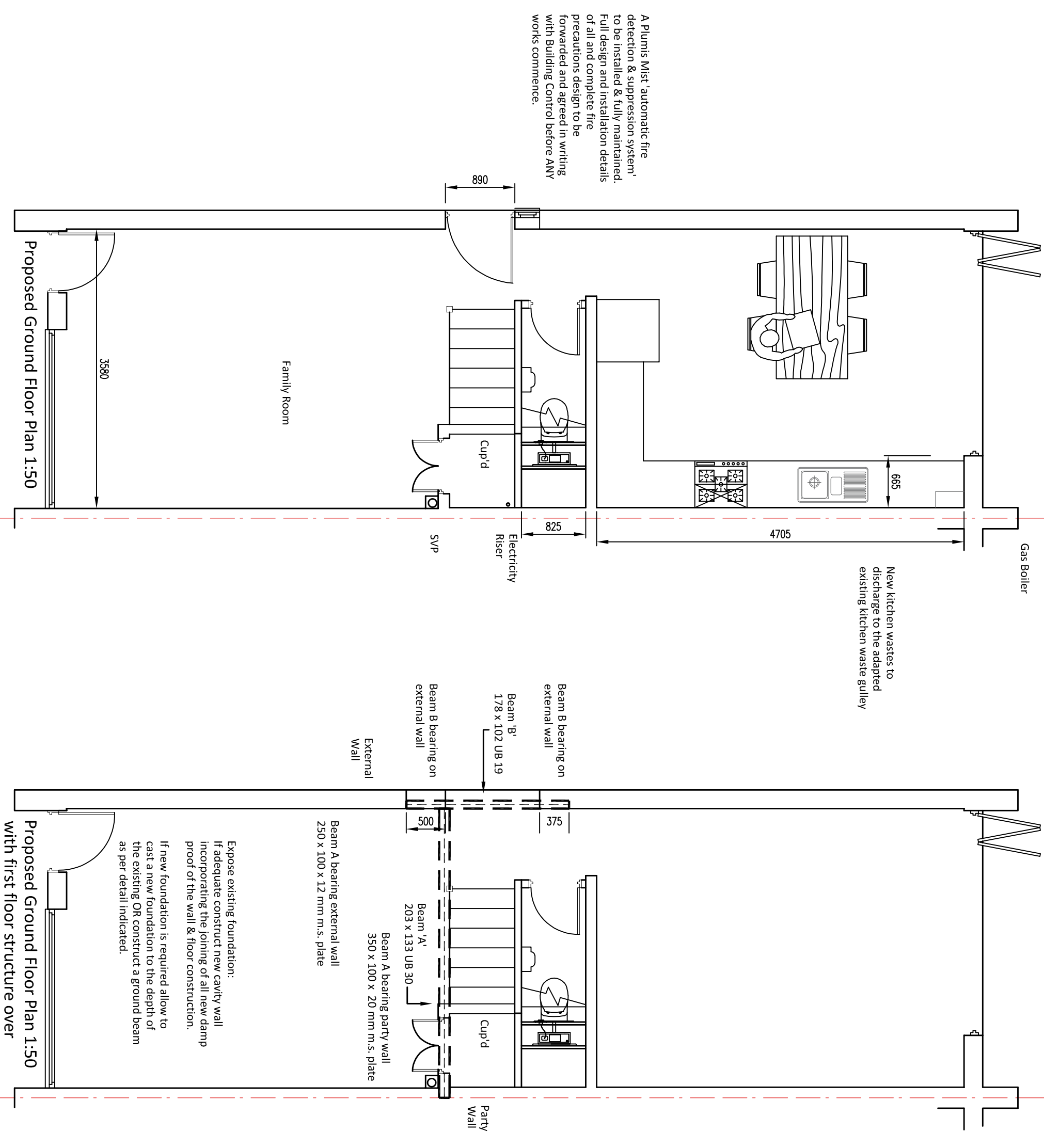
Detail:  
**PROPOSED DRAWING**  
**Proposed Plans & Elevations**

Drawn by:	Date:	Scale:
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Drawing/Cad Ref. No.: 19-126

Drawing No.: **19-126-02** Rev: **D**

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**Courtleas Consulting Ltd**  
 Chartered Surveyors Development & Project Consultants  
 1 COURTLEAS COBHAM  
 SURREY KT11 2PW  
 TEL: 01932 590 455  
 Email: garymwhite@ntlworld.com

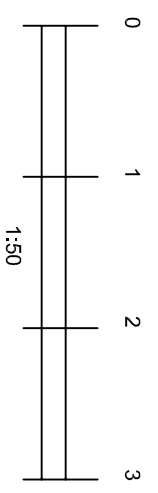
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**Mr & Mrs B Fortesque-Nickson**  
 58 Brookwood Avenue  
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 SW13 0LU

Detail:  
**Proposed Ground Floor Plans**

Drawn by:	Date:	Scale:
GW	JAN-20	As stated
Drawing/Cad Ref. No.:	19-126	
Drawing No.:	<b>19-126-20</b>	Rev:

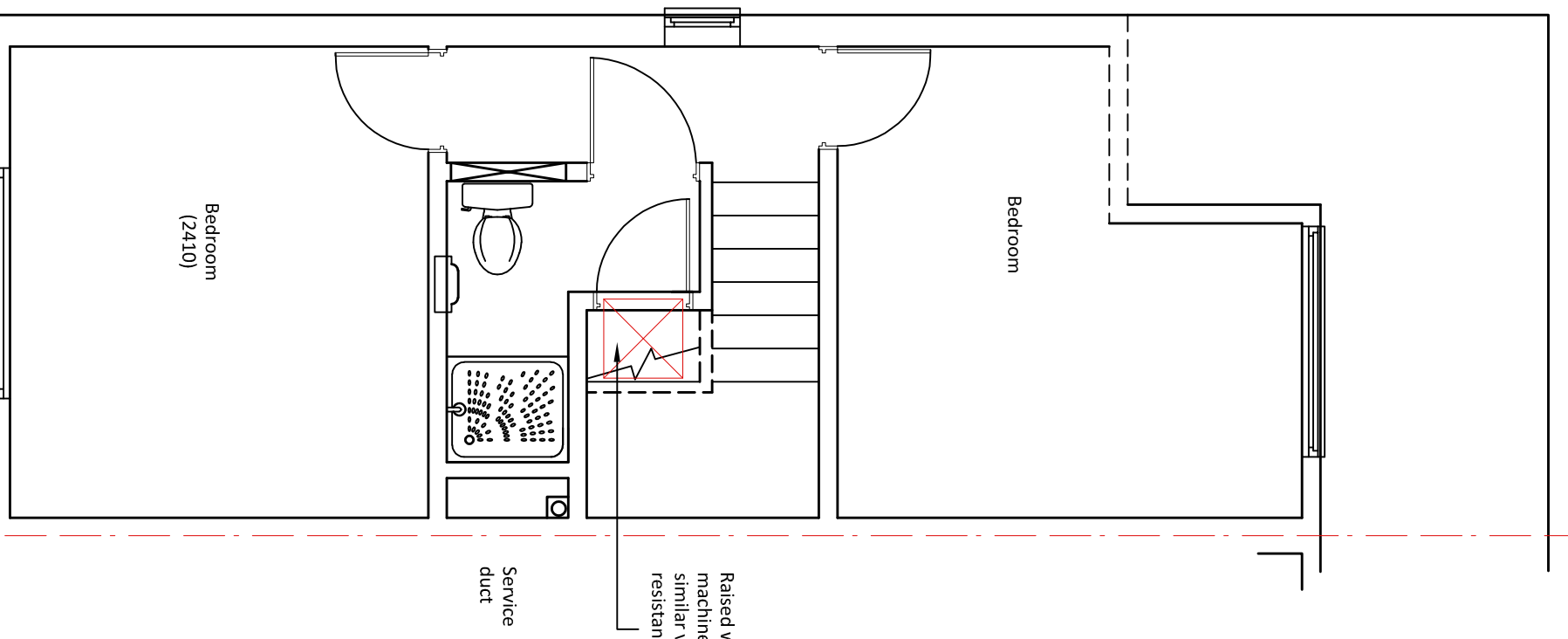
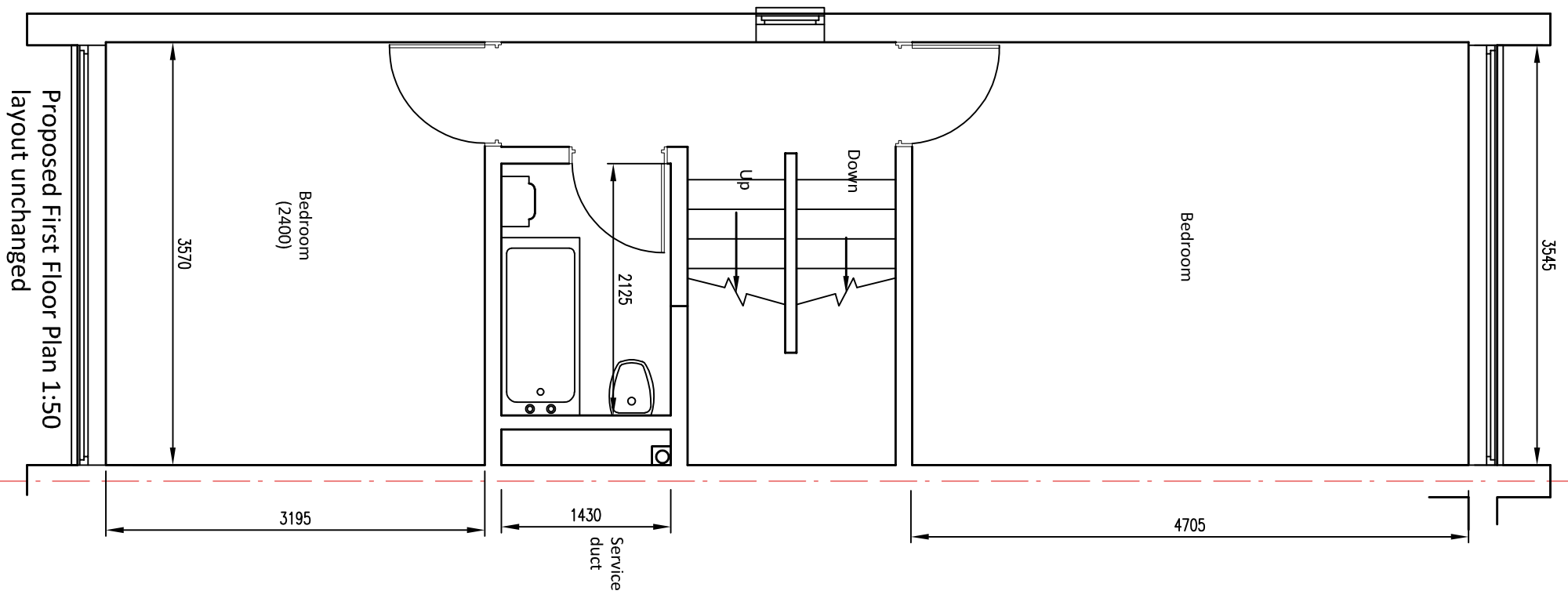
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Original Plot Size A3



Bedroom windows at first floor & first floor landing windows to have egress sized openings.  
 All doors at 1st & 2nd floor except 1st floor bathroom to have FD20 doors

Raised washing machine on 'Tico' OR similar vibration resistant floor structure



Proposed 1st & 2nd Floor Plans

Drawn by:	Date:	Scale:
GW	JAN-20	As stated
Drawing/Cad Ref. No.:	19-126	
Drawing No.:	19-126-21	
Rev:		

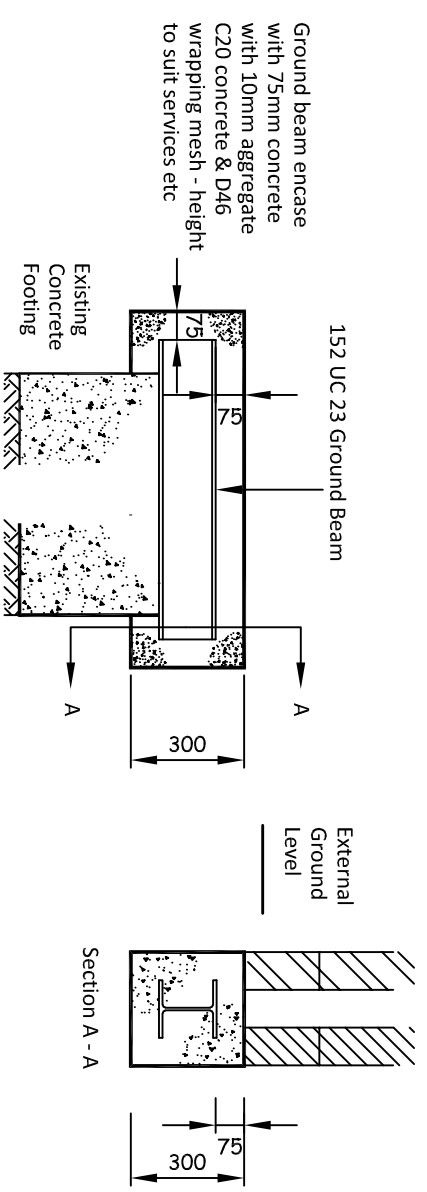
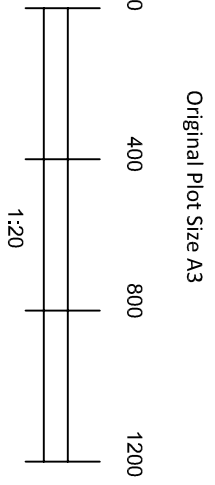
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Ground Beam Section 1:20

**INTERNAL STUD WALL CONSTRUCTION** to be 50 x 100 studs @ 400 c/c's with noggins @ 1/3rd heights & to suit services. To be finished with 15mm 'Knauff acoustic plasterboard' on resilient bars in accordance with manufacturer's written instructions with 5mm skim of finishing plaster, infill studs with 100mm Knauff Acoustic partition Wall Roll acoustic insulation.

**EXTERNAL CAVITY BRICK / BLOCK WALLS** to be 100mm brickwork, 50mm cavity, 50mm Celotex CW 4000 insulation & 100mm Solar Blockwork with stainless steel ties ties 750mm horizontally, 450mm vertically & 225mm @ all openings / reveals. Build in 'Catnic' insulated lintels with 150mm end-bearings. Stainless steel 'Furfix' profile to be fitted at junction of new wall & existing. Bed d.p.c.'s in mortar to B.S.743 a minimum of 150mm above finished ground level, Thermabate at reveals. Internally render & finishing coat of plaster. Horizontal d.p.c bedded a minimum of 150mm above ground level & laid contiguously with both d.p.m & d.p.c.

**GROUND FLOOR** to be finishes to the clients specification on 75mm sand/cement 1:3 screed laid, on 'Celotex' GA4000 insulation, on 1200 gauge d.p.m. on existing concrete (Existing garage). All d.p.c.'s & d.p.m.'s to contiguous.

**FIRE PRECAUTIONS** Fix mains fed + battery back-up interlinked smoke detectors & alarms to hall & landing at ceiling level to BS 5446. All habitable rooms to have windows with a minimum opening of 0.35 m<sup>3</sup> & 450mm dimension, cill height between 800 & 1100 mm from finished floor.

**STAIRCASE:** Minimum headroom to the existing stair to be 2.0m.

**FOUNDATIONS** the ground covered by the new building to be cleared of all vegetable matter & sub-soil. Mass concrete 1:2:4 mix with max 19mm aggregate using O.P.C. Depth of footings to be taken below the inert of adjacent drains & be at least 600mm below any tree root formation. On assumed ballast / hoggins strata. **MINIMUM DEPTH ONLY** indicated - final depth to suit the ground conditions & as directed by the Building Control Surveyor.

**STRUCTURAL STEEL** to be provided with 30 minutes fire resistance 2 no. layers of 9.5mm plasterboard, bound with wire & 5mm skim coat of finishing plaster. 25mm between plasterboard & top of ceiling joist. Alternatively use 'Nulfire' intumescent paint strictly in accordance with the manufacturer's written instructions.

**LATERAL RESTRAINT STRAPS** to be secured at 1.8m c/c's at roof & ceiling levels. All multiple timbers to be bolted @ 600 c/c's with M12 bolts & oversized washers. Floor joists spanning in excess of 2.5m should be strutted by one row of solid or herringbone strutting as follows: Joists 2.5 - 4.5m - One row required **SERVICES** Extend all existing services strictly in accordance with the latest relevant legislation. Services to be tested prior to work commencing & any defects reported. Strip out all redundant services. Works to be fully tested & commissioned upon completion. Exact location of all fittings to be agreed with the client on site.

**EXTERNAL GLAZING** all to be double glazed finished with external grade polysulphide sealant. All glazing to be safety glazing to B.S.6206:1981 in critical locations. To be Pilkington EnerGKare Classic 4 x 16 x 4. Glazing to achieve a 'U' value of 1.6 W/m<sup>2</sup>K or better. To be fitted in accordance with manufacturer's instructions. Patterns & styles to be agreed with the client. Rear door opening - The design assumes a top hung door system, but the door supplier will need to confirm what the operating tolerances are as the assumption are based upon a limiting live load deflection of 10mm. If the glazing system can accept a greater deflection ratio then a lintel / beam to be re-specified.

**VENTILATION** Habitable rooms 1/20th floor area operable windows, 8000mm<sup>2</sup> background ventilation. Kitchen 4000mm<sup>2</sup> background ventilation, & mechanical extract with inlet over hob ducted to external air capable of 30 litres per second. Utility 4000mm<sup>2</sup> background ventilation, & mechanical extract ducted to external air capable of 30 litres per second. Bathroom / Shower mechanical extract ducted to external air capable of 15 litres per second. W.C. mechanical extract ducted to external air capable of 6 litres per second.

**ELECTRICAL** All electrical works are to be carried out in accordance with I.E.E Regulation 17th edition by N.I.C.E.I.C approved contractor & to meet the requirements of Part P (Electrical Safety) of the Building Regulations, must be designed, installed & tested by a person competent to do so. Prior to completion the Council should be satisfied that Part P has been complied with. Electrical works to be undertaken by an authorised Competent Person Scheme member who must also notify his Scheme organisation on completion of the installation. This will require an appropriate BS 7671 electrical certificate to be issued to the Building Inspector for the work by a person competent to do so. Fixed external lights not to exceed 150 Watts per light fitting & the lighting switches off either: (a) there is not enough daylight (b) when not required at night OR the light fitting have sockets that can only use lamps having efficiency greater than 40 lumens per circuit-Watt. 3 in 4 energy efficient light fitting is to be installed with a luminous efficacy greater than 45 lumens per circuit-watt.

**PLUMBING** Install & commission an unvented hot water system (to have a minimum SEDBUK of 90% ) with the service manual attached complete with flue & terminal. Installer to be Gas Safe registered Engineer with the registered operative identity number to be provided with the commissioning certificate on completion of work on site. Provide & install central heating system comprising suitably sized steel radiators fitted with a thermostatic valve in each room & chrome plated rail to bathrooms. Hot water & space heating to have separate timing controls.

**COLD WATER SUPPLIES**  
 In accordance with G1 a cold water supply of wholesome water must be supplied for the purposes of drinking water & to washbasins, baths & sinks & suitable water quality to flushing devices.

**HOT WATER SUPPLIES**  
 In accordance with G3 a hot water supply of wholesome water must be supplied to all appliances as for cold water & installations designed incorporating safety relief valves to avoid affects of excessive pressures & temperatures (above 100deg) with discharges to place safety & controls to limit temp. To baths to 48deg & user warnings on system units. Allow for the extension of existing gas main & provision of new outlets for cooker & heating boiler. Allow for the installation of a new gas main with new meter & gas points. Allow for attendance of Gas Authority.

**WASTE WATER** plumbing to be 40mmØ sink, bath & shower. Common wastes to be min 50mm Ø. All to have 75mm accessible resealable traps. SVP with 100mm Ø UPVC pipe, to terminate 900mm above window opening.

**DRAINAGE** Provide rodding eyes at all changes of direction. Maintain rodding accessible the base of the stack & fit resealable access. Wastes to connect to existing system via trapped roddable gully outlets to assumed drain locations.

The contractor is responsible for the stability of the existing structure, both on the site and adjoining sites and must take all necessary precautions to safeguard their stability. All temporary works and the stability of the works in general during construction is the responsibility of the contractor.

Key elements of the existing structure i.e. foundations, lintels etc to be exposed for consideration by Building Control Officer & upgraded or replaced if found necessary - areas to be agreed on commencement of works.

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This plan has been prepared to obtain the relevant statutory approvals only.

REV.	DATE	DETAILS

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 1 COURTLEAS COBHAM  
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Detail:  
**Proposed Ground Floor Plans**

Drawn by:	Date:	Scale:
GW	JAN-20	As stated
Drawing/Cad Ref. No.:	19-126	

Drawing No.:	Rev.:
<b>19-126-22</b>	