

**Instructions for Alan Thursday 3<sup>rd</sup> August – Halebourne R17615**

10/10.

1. Please cut the 3.50m x 3.50m rug from the 7m cutting plan **BEFORE** going to site as **Kasias is collecting it for binding.**
2. Fit d/naps at the main doors and **seam at dressing room doors** but **DO NOT** fit tile edges at the bathrooms. Fit up to the stone floors with shims if required and ceramic tiles have metal edges fitted by tiler. Fit up to tiles in these doors.
3. Bedroom 4 the stud wall on the plan has NOT been built. Still seam on this side of the room.
4. See layout plans for seam positions.

**Warehouse Note:**

I have allowed .50m on all rolls for cutting except the roll that is on the sheet at 21.60 is actually only 21.10 so there is **NO WASTE** on this roll.

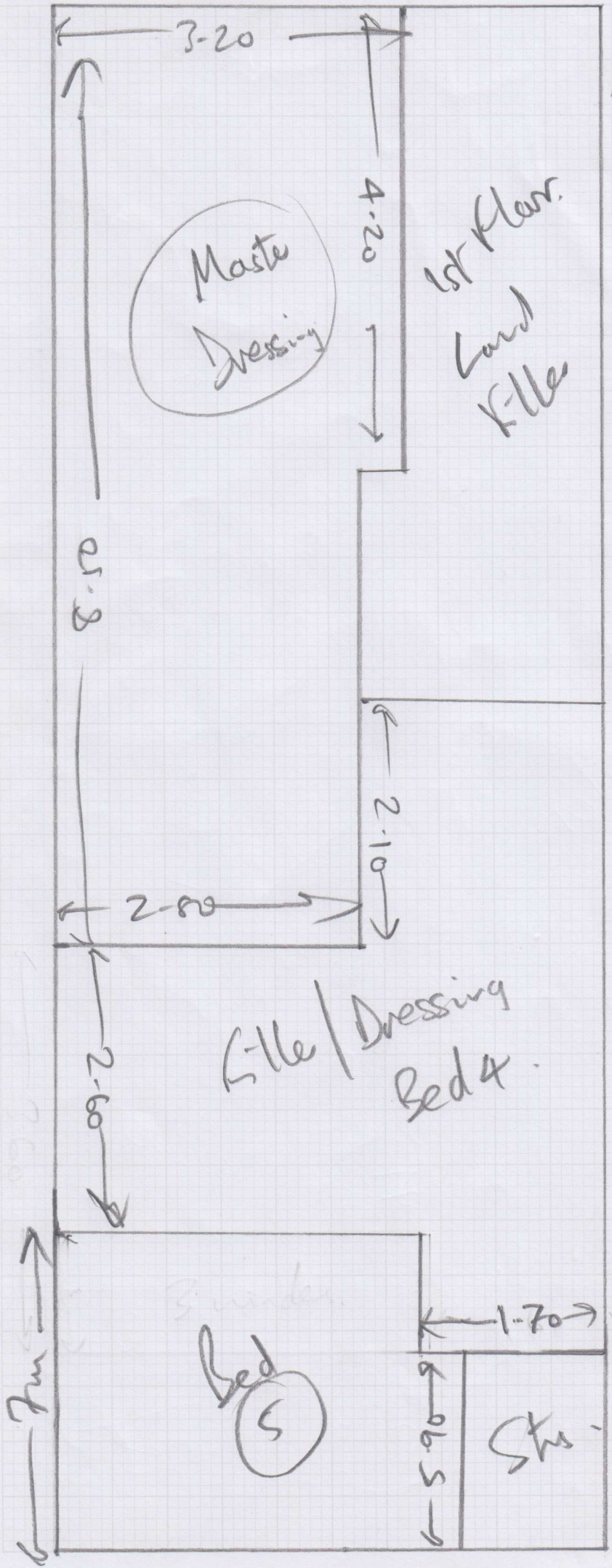
**Halebourne**  
**Roll Breakdowns**

**Order Ref R17615 Shiruku SHI-04**

<b>Area</b>	<b>Length</b>	<b>Width</b>
Drawing room	9.20	5.00
Study	5.50	5.00
Dining room	6.40	5.00
<b>Roll A = 21.60</b>	<b>21.10</b>	<b>Roll Balance .50m</b>
Master Sitting Room	4.60	5.00
Bed 4	5.70	5.00
Gym	9.70	5.00
<b>Roll B = 20.50</b>	<b>20.00</b>	<b>Roll Balance .50m</b>
Plan	11.90	5.00
Plan	6.10	5.00
<b>Roll C = 18.50</b>	<b>18.00</b>	<b>Roll Balance .50m</b>
Plan	18.00	5.00
<b>Roll D = 18.50</b>	<b>18.00</b>	<b>Roll Balance .50m</b>
Plan	12.00	5.00
Plan	9.20	5.00
<b>Roll E = 21.70</b>	<b>21.20</b>	<b>Roll Balance .50m</b>
Plan	9.90	5.00
Plan	6.40	5.00
Plan	7.00	5.00
<b>Roll F = 23.80</b>	<b>23.30</b>	<b>Roll Balance .50m</b>

**CUT CAREFULLY ONLY .50m WASTE**  
**ROLL A SAYS 21.60 but actualy only 21.10 CUT CAREFULLY**

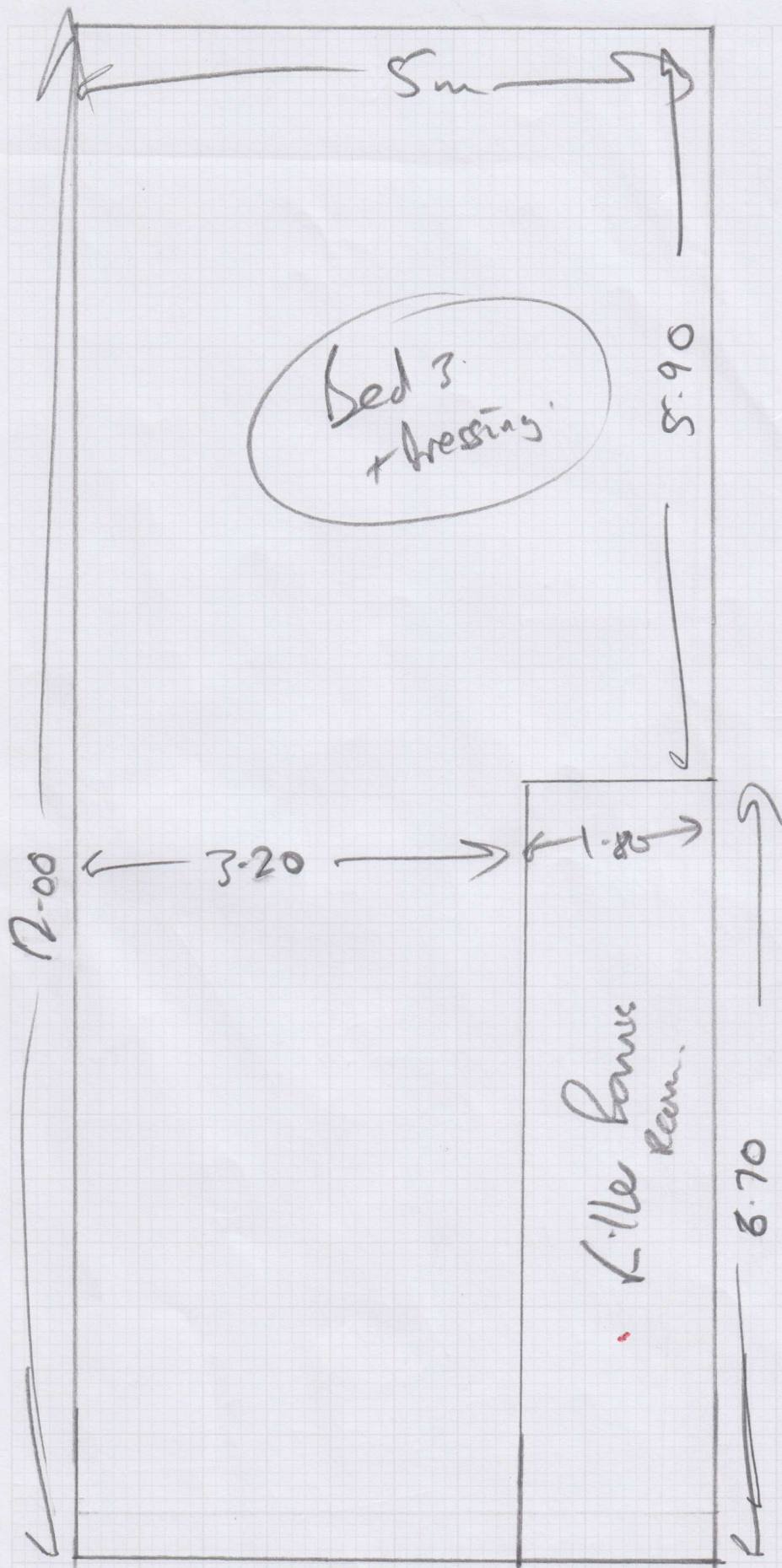




mrcarpet  
 Job No: R17615  
 Name: HARBORNE  
 Address: Plot 2 Little Court  
 Eaton Park.  
 Tel:  
 She: ol:  
 2 of 10

18m

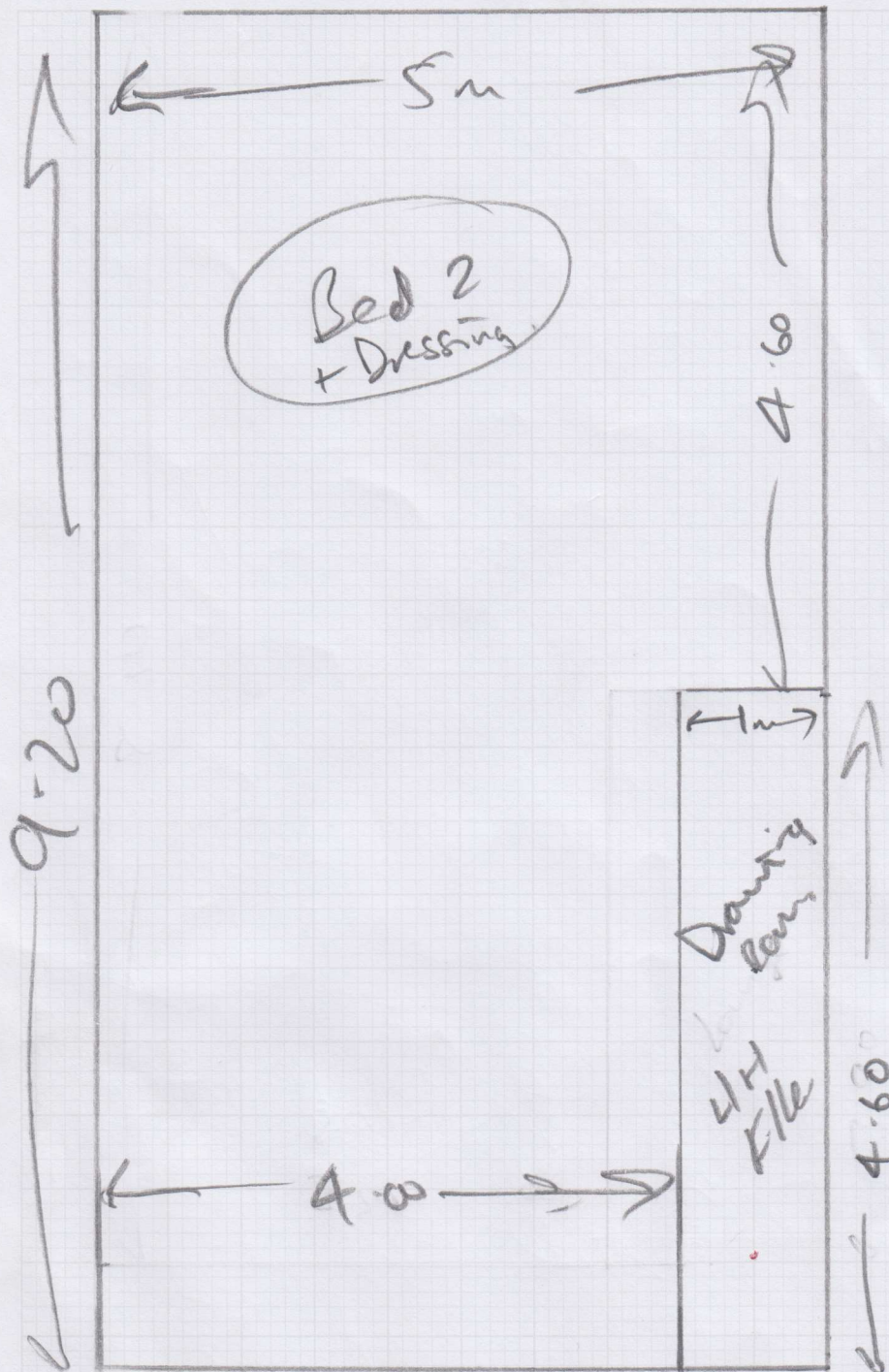
7m



mrcarpets  
REPAIRS & FITTINGS

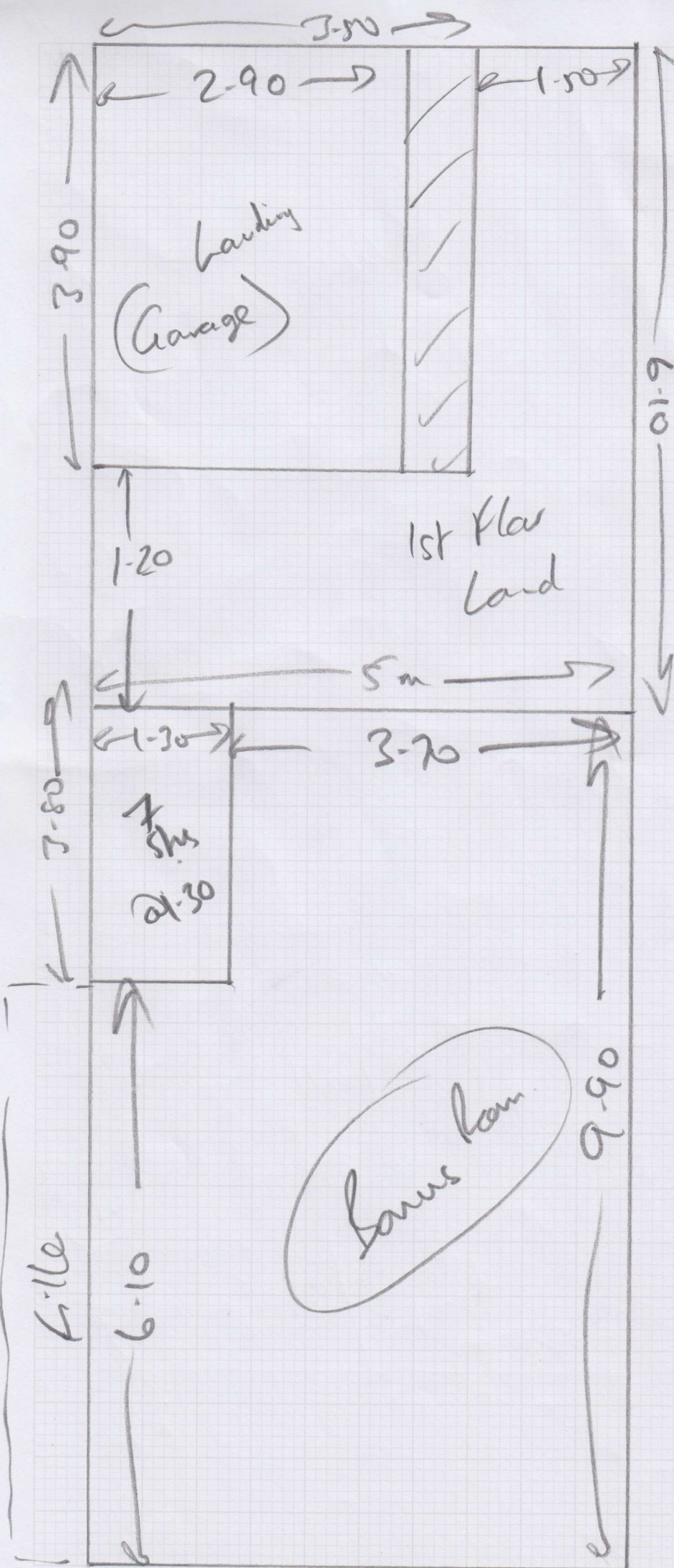
Job No: R17615  
Name: HAREBOURNE  
Address: PLOT 2 Little Court  
Katoomba Park

Tel: \_\_\_\_\_  
Sheet: 3 of 10



mrcarpet

Job No: R17615  
 Name: HALEBOURNE  
 Address: Plot 2 Little Court  
 Eaton Park  
 Tel:  
 Sheet: 4 of 10



mrcarpet

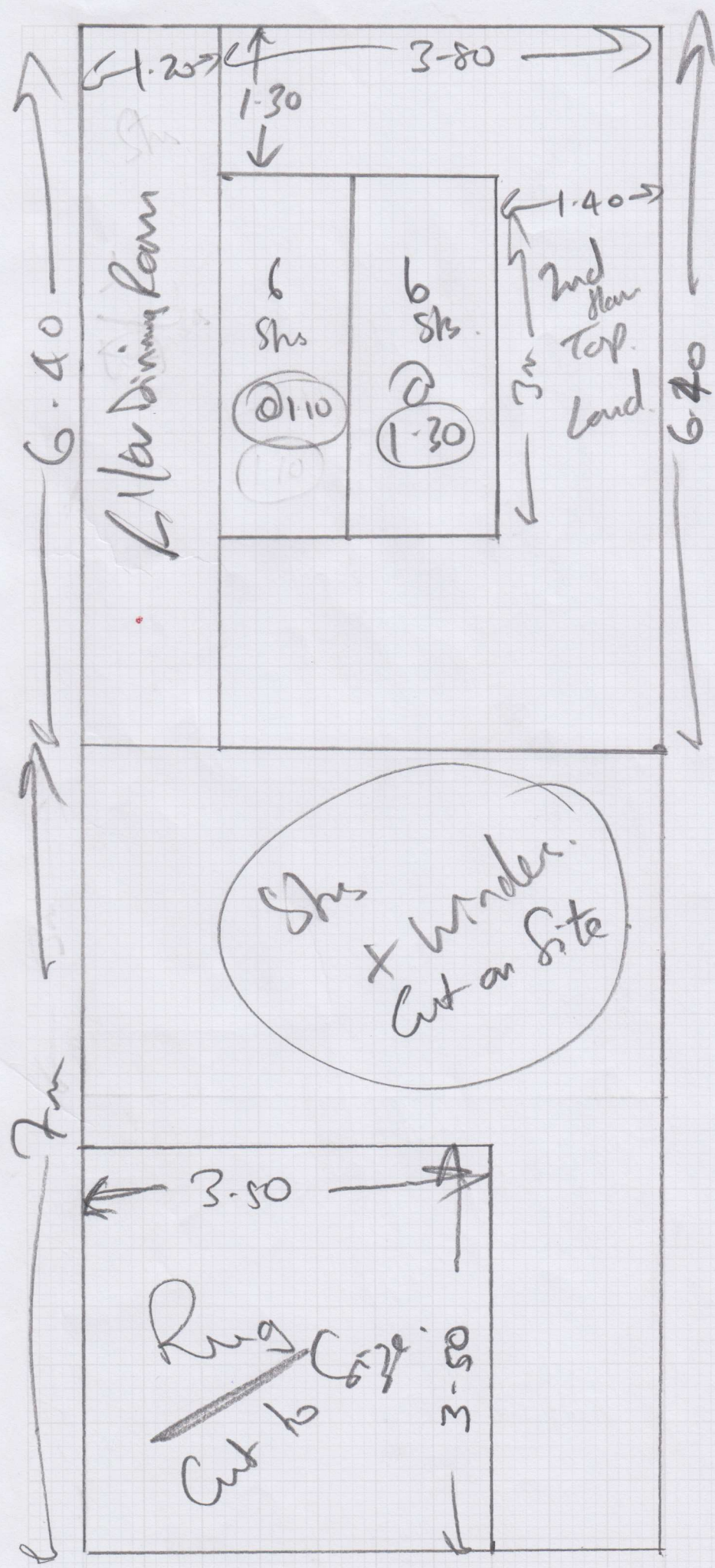
Job No: R17615

Name: HALEBOURNE

Address: Plot 2 Little Court Eaton Park

Tel:

Sheet: 5 of 10



mrcarpets  
 Job No: R17615  
 Name: HALEBOUENE  
 Address: Plot 2 Little Court.  
 Eaton Park.  
 Tel:  
 Sheet: 6 of 10

R17615  
7/10

NOTES :

All dimensions to be checked on site prior to the start of construction. All dimensions to be checked on site prior to the start of construction. All dimensions to be checked on site prior to the start of construction.

**STRUCTURE**  
The structure shall be constructed in accordance with the approved plans and specifications. The structure shall be constructed in accordance with the approved plans and specifications.

**FINISHES**  
The finishes shall be in accordance with the approved plans and specifications. The finishes shall be in accordance with the approved plans and specifications.

**MECHANICAL**  
The mechanical services shall be in accordance with the approved plans and specifications. The mechanical services shall be in accordance with the approved plans and specifications.

**ELECTRICAL**  
The electrical services shall be in accordance with the approved plans and specifications. The electrical services shall be in accordance with the approved plans and specifications.

**PLUMBING**  
The plumbing services shall be in accordance with the approved plans and specifications. The plumbing services shall be in accordance with the approved plans and specifications.

**GLAZING**  
The glazing shall be in accordance with the approved plans and specifications. The glazing shall be in accordance with the approved plans and specifications.

**WINDOWS / DOORS / GLAZING**  
The windows, doors, and glazing shall be in accordance with the approved plans and specifications. The windows, doors, and glazing shall be in accordance with the approved plans and specifications.

**WATER SUPPLY**  
The water supply shall be in accordance with the approved plans and specifications. The water supply shall be in accordance with the approved plans and specifications.

**WASTE DISPOSAL**  
The waste disposal shall be in accordance with the approved plans and specifications. The waste disposal shall be in accordance with the approved plans and specifications.

**VENTILATION**  
The ventilation shall be in accordance with the approved plans and specifications. The ventilation shall be in accordance with the approved plans and specifications.

**HEATING**  
The heating shall be in accordance with the approved plans and specifications. The heating shall be in accordance with the approved plans and specifications.

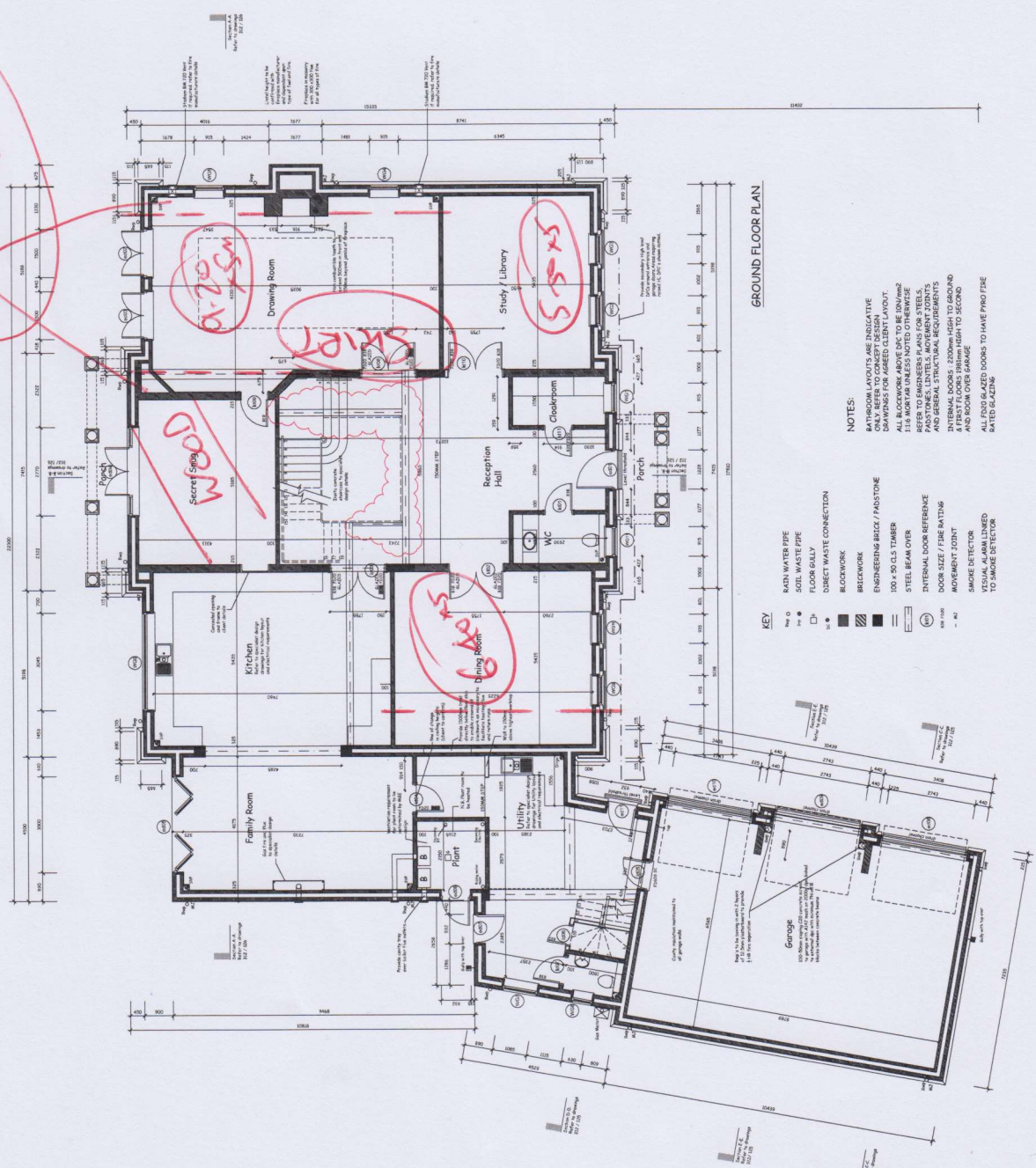
**INSULATION**  
The insulation shall be in accordance with the approved plans and specifications. The insulation shall be in accordance with the approved plans and specifications.

**ACoustic**  
The acoustic services shall be in accordance with the approved plans and specifications. The acoustic services shall be in accordance with the approved plans and specifications.

**Lighting**  
The lighting shall be in accordance with the approved plans and specifications. The lighting shall be in accordance with the approved plans and specifications.

**Other**  
Other services shall be in accordance with the approved plans and specifications. Other services shall be in accordance with the approved plans and specifications.

**General**  
General notes shall be in accordance with the approved plans and specifications. General notes shall be in accordance with the approved plans and specifications.



14	22.05.15	Issue for client approval
15	22.05.15	Issue for client approval
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100	22.05.15	Issue for client approval

Project:  
1716 Court  
Erick  
Cobham

Drawing Title:  
Ground Floor Plan  
Plot 2

Scale:  
1:100 B.A.J.

Date:  
May 2015

Drawn:  
N.F.

Checked:  
S.L.

Project No.:  
111-111

Rev.:  
04

R17615  
8/10

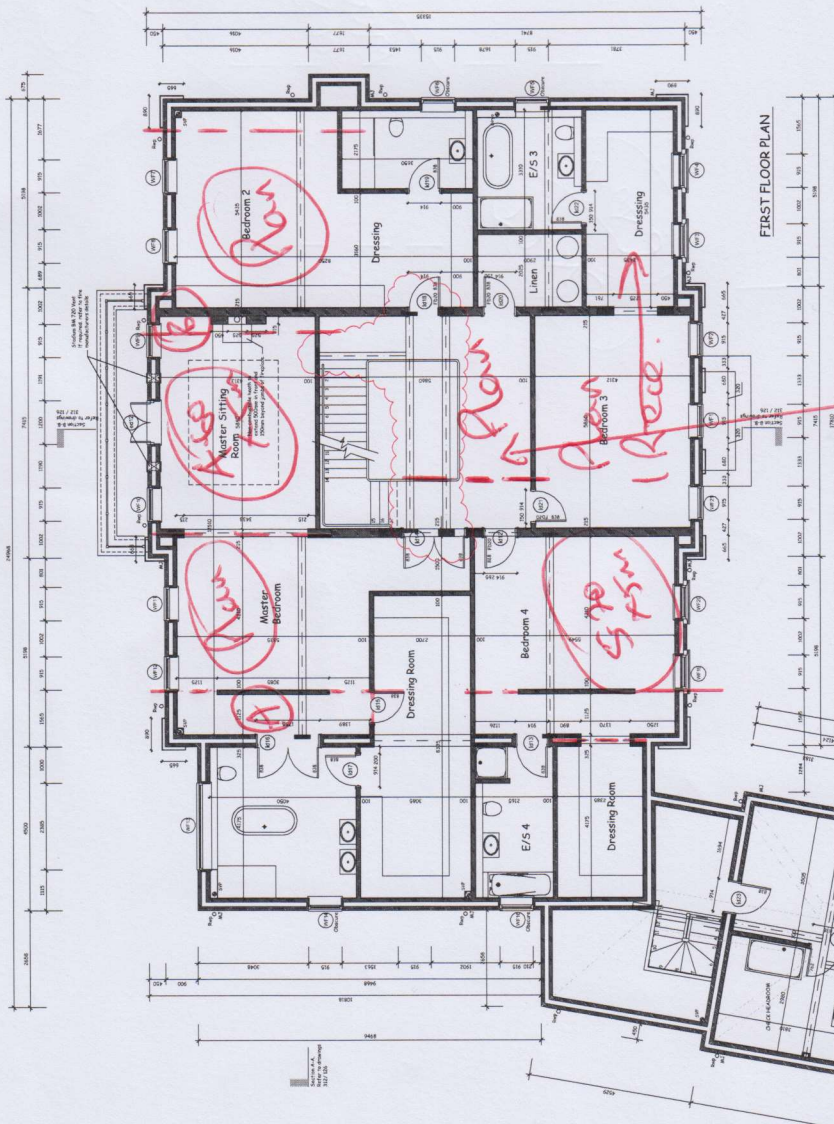
NOTES :

As indicated by the shaded areas on the floor plan, the walls to be finished with the same material as the adjacent wall. The walls to be finished with the same material as the adjacent wall. The walls to be finished with the same material as the adjacent wall.

**SOUND INSULATION TO INTERNAL WALLS**  
Internal/external partition walls to be provided with the same sound insulation as the adjacent wall. The walls to be finished with the same material as the adjacent wall. The walls to be finished with the same material as the adjacent wall.

**SOOT AND CONDENSATE COLLECTION**  
Soot and condensate collection to be provided for all chimneys. The walls to be finished with the same material as the adjacent wall. The walls to be finished with the same material as the adjacent wall.

**CEILING FINISHES**  
Ceiling finishes to be provided for all rooms. The walls to be finished with the same material as the adjacent wall. The walls to be finished with the same material as the adjacent wall.



FIRST FLOOR PLAN

- KEY**
- RAIN WATER PIPE
  - SOIL/WASTE PIPE
  - FLOOR GULLY
  - DIRECT WASTE CONNECTION
  - BLOCKWORK
  - BRICKWORK
  - ENGINEERING BRICK / FASTSTONE
  - 100 x 50 GLS TIMBER
  - STEEL BEAM OVER
  - INTERNAL DOOR REVERSE
  - DOOR SEIZ / FIRE RATING
  - ADJACENT LIGHT
  - SMOKE DETECTOR
  - SMOKE DETECTOR TO BE PROVIDED TO SMOKE DETECTOR

**NOTES:**  
BATHROOM LAYOUTS ARE INDICATIVE ONLY. REFER TO CONSTRUCTION DRAWINGS FOR DETAILS.  
ALL BLOCKWORK ABOVE DPC TO BE 100mm<sup>2</sup> U18 MORTAR UNLESS NOTED OTHERWISE.  
REFER TO ENGINEERS' WORK FOR SYSTEMS AND GENERAL STRUCTURAL REQUIREMENTS.  
INTERNAL DOORS: 2200mm HIGH TO GROUND AND ROOM OVER GARAGE.  
SMOKE DETECTOR TO BE PROVIDED TO SMOKE DETECTOR.

*Handwritten in red:*  
Handing Sean O'Carroll

Rev	Date	Description
C4	22.08.16	Issue for construction
C3	12.08.16	Issue for construction
C2	12.08.16	Issue for construction
C1	12.08.16	Issue for construction

Project:  
The Court  
East Court  
Cobham

Drawing Title:  
First Floor Plan  
Part 2



Drawn:	Scale:	Date:
R.P.	1:100 R.A.P.	Sept 2015
Checked:	Drawn:	Rev:
		C4

